

CITY OF WINTERS REGULAR PLANNING COMMISSION AGENDA

Tuesday, December 10, 2019 @ 6:30 PM  
City of Winters Council Chambers  
318 First Street  
Winters, CA 95694-1923  
Community Development Department  
Contact Phone Number (530) 794-6714  
Email: [dave.dowswell@cityofwinters.org](mailto:dave.dowswell@cityofwinters.org)

Chairperson: Paul Myer  
Vice Chair: Lisa Baker  
Commissioners: Dave Adams, Patrick  
Riley, Gregory Contreras, Daniel  
Schrupp, Ramon Altamirano  
City Manager: John W. Donlevy, Jr.  
Management Analyst, Dago Fierros  
Contract Planner, Dave Dowswell

- I CALL TO ORDER
- II ROLL CALL & PLEDGE OF ALLEGIANCE
- III CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.
- IV CONSENT ITEM
  - A. Minutes of November 12, 2019 meeting of Planning Commission.
- V DISCUSSION ITEMS:
  - A. Public Hearing and Consideration of Site Plan/Design Review for a new one-story, 2836 square foot single-family home at 109 Wolfskill Street.
  - B. Public Hearing and Consideration of Site Plan/Design Review for a home for Lot 18, Phase 2 of the Olive Grove Subdivision. The lot is located of Apricot Avenue. (Continued from November 12, 2019 meeting.)
  - C. Public Hearing and Consideration of Site Plan/Design Review of the four (4) model homes and ten (10) elevations for the LDS Subdivision located off Anderson Avenue next two the LDS Church (Continued from November 12, 2019 meeting).
  - D. Public Hearing and consideration of various amendments to Title 17 (Zoning Ordinance) of Winters Municipal Code which includes the following entitlements.
    - 1) Finding the project Statutorily Exempt from CEQA Section 15268, Ministerial Projects.
    - 2) Recommending the City Council adopt an ordinance which amends the City's local regulatory scheme (Chapter 17.98, Accessory Dwelling Units or ADUs) for the construction of ADUs and Junior Accessory Dwelling Units (JADU) to comply with the amended provisions of Government Code sections 65852.2 and 65852.22.
- VII COMMISSION/STAFF COMMENTS
- VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON DECEMBER 5, 2019

  
DAVID DOWSWELL, COMMUNITY DEVELOPMENT DEPARTMENT CONTRACT PLANNER

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

GENERAL NOTES: MEETING FACILITIES ARE ACCESSIBLE TO PERSONS WITH DISABILITIES. TO ARRANGE AID OR SERVICES TO MODIFY OR ACCOMMODATE PERSONS WITH A DISABILITY TO PARTICIPATE IN A PUBLIC MEETING, CONTACT THE CITY CLERK.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD  
NOVEMBER 12, 2019**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chairman Myer called the meeting to order at 6:30 p.m.

**PRESENT:** Commissioners Adams, Altamirano, Contreras, Riley, Vice Chair Baker, Chairman Myer

**ABSENT:** Commissioner Schrupp

**STAFF:** City Manager John Donlevy, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

Contract Planner Dave Dowswell led the Pledge of Allegiance.

**CITIZEN INPUT:** None.

**CONSENT ITEM:**

- A. Minutes of the October 22, 2019 regular Planning Commission meeting.

Commissioner Contreras moved to approve, Commissioner Altamirano seconded. Vice Chair Baker Abstained. Motion Carried.

**DISCUSSION ITEMS:**

- A. Public Hearing and Consideration of Recommendation of Site Plan/Design Review for a home for Lot 18, Phase 2 of the Olive Grove Subdivision. The lot is located on Apricot Avenue.

**COMMISSIONER/STAFF COMMENTS:**

Contract Planner Dave Dowswell gave a brief summary of the proposal. Dowswell suggested minor changes to the design and setbacks.

**CITIZEN INPUT:**

Matt Brickey, 716 Hemenway Street, stated his opposition to the proposal. Construction practices were questioned.

Sheila Carbahal, 415 Cemetery Drive, stated her opposition to the proposal. Drainage issues were questioned.

Joe Bristow, 405 Pear Place, stated his opposition to the proposal. Drainage and project design issues were questioned.

Cesar Valeriano, 403 Pear Place, stated his opposition to the proposal. Drainage issues were questioned.

**COMMISSIONER/STAFF COMMENTS:**

Manager John Donlevy stated that in order to move forward with site improvements and issuance of building permits, a Subdivision Improvement and Maintenance Agreement must first be signed and recorded.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD  
NOVEMBER 12, 2019**

Vice Chair Baker, Commissioners Contreras and Riley discussed the importance of resolving Phase I issues before moving forward with Phase II.

Bryan Bonino Engineer, Laugenour and Meikle, discussed existing drainage of the property and what the developer has done to mitigate drainage issues.

Vice Chair Baker moved to table the proposal for the December 10<sup>th</sup> Planning Commission meeting. Riley seconded. Motion passed unanimously.

Staff and engineering were directed to create a progress report on all issues affecting Phase I and Phase II of the Olive Grove Subdivision.

**AYES:** Commissioners Adams, Altamirano, Contreras, Riley, Vice Chair Baker, Chairman Myer

**NOES:** None

**ABSTAIN:** None

**ABSENT:** Schrupp

**DISCUSSION ITEMS:**

B. Public Hearing and Consideration by the Planning Commission of the following items:

1. Tentative Map to subdivide a 3.29 acre parcel into eighteen (18) single family lots between 4,400 and 5,200 square feet. The property is located off Anderson Avenue due north of the existing LDS Church (APN 030-220-034); and
2. Adopt an ordinance rezoning the above-mentioned property by adding a Planned Development (PD) Overlay Zone to the existing R-1 Zoning. Adding the PD Zoning will allow reduction to various development standards including front, side and rear yard setbacks, and exceed by .23 percent the allowable lot coverage of fifty (50) percent, and
3. Consideration of Site Plan/Design Review of the four (4) model homes and ten (10) elevations.

Contract Planner Dave Dowsell discussed the changes that were made to the elevations and the site plan from the previous meeting.

Kam and Kal Takhar of Crowne Communities presented the updated proposal.

Bryan Bonino addressed issues regarding drainage, street widths, and emergency vehicle access.

**CITIZEN INPUT:**

Kate Laddish, 400 Morgan Street #21, stated her concerns with the design of the homes and the Emergency Vehicle Access.

**COMMISSIONER/STAFF COMMENTS:**

Commissioners discussed the pseudo affordability aspect of the project and believed the proposed elevations are undermining the design review guidelines.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD  
NOVEMBER 12, 2019**

Manager Donlevy recommended the proposal be brought back.

Vice Chair Baker moved to recommend the City Council approve the Tentative Map and amending the official zoning map of the City by adding the Planned Development Overlay Zone. Commissioner Riley seconded.

Consideration of Site Plan/Design Review will be brought back at the December 10<sup>th</sup> Planning Commission Meeting.

**AYES:** Commissioners Adams, Altamirano, Contreras, Riley, Vice Chair Baker, Chairman Myer

**NOES:** None

**ABSTAIN:** None

**ABSENT:** Schrupp

**ADJOURNMENT:** Chairman Myer adjourned the meeting at 9:10 p.m.

**ATTEST:** \_\_\_\_\_

Dagoberto Fierros, Management Analyst

\_\_\_\_\_

Paul Myer, Chairman





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners  
**DATE:** December 10, 2019  
**FROM:** David Dowswell, Contract Planner   
**SUBJECT:** Public Hearing and Consideration of Site Plan/Design Review 2019-05 for a new single-family home at 109 Wolfskill Street.

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Site Plan/Design Review for a new 2,836 square foot single-family home.

**GENERAL PLAN LAND USE DESIGNATION:** The General Plan land use designation for the site is Low Density Residential (LR).

**SURROUNDING LAND USES, ZONING, AND SETTING:** The surrounding land uses and zoning are as follows:

North: Single Family – Single Family Residential (R-1)  
South: Single Family – Single Family Residential (R-1)  
East: Multiple Family – Single Family Residential (R-1)  
West: Single Family – Single Family Residential (R-1)

The existing lot is vacant. There are several mature trees (mostly oak) on the site the applicant is proposing to save. The property is surrounded on three sides by wood fencing.

**BACKGROUND:** On January 23, 2018 the Planning Commission approved the Coman/Young Parcel Map which created the lot the applicant is proposing to build a house (Attachment A).

**PROJECT DESCRIPTION:** The applicant, Don Lewis, is requesting approval to construct a 2,836 square foot, one-story, three-bedroom house on a 9,780 square foot lot located at 109 Wolfskill Street. The house design is a somewhat modern/contemporary look with a combination of smooth cement stucco-like finish and a stone veneer with a 4 and 10 pitched roof. There will be a two-car garage with a workshop. The garage door will have a simulated wood finish that mimics the horizontal stone veneer siding and horizontal wood fencing. There will be windows along the edge of the garage door.

**ANALYSIS:** The site plan complies with the R-1 regulations as to setbacks and lot coverage. Almost all of the existing trees are being saved. The exterior design of the home is attractive. The design, although modern, will be compatible with the design of the homes in the area, which are somewhat eclectic (Attachment B).

The lot is an infill lot. One of the items the Planning Commission must consider when reviewing the design of a new home is the use of landscaping and decorative paving which provides effective screening or softening of the development. The applicant will need to provide a landscaping and irrigation plan for the front yard. The plan shall include a minimum of one 15-gallon, double-staked street tree from the City's approved street tree list and a mix of shrubs and ground cover.

As mentioned above, the property is surrounded by wood fencing on three sides. The fencing between this property and 105 Second Street is leaning, is in disrepair and needs to be replaced. It appears the portion of this fencing within the front setback is also more than 3 feet 6 inches high. The applicant will need to make sure the height of the new fence is compliant. Staff recommends the applicant work with the owner of 105 Second Street on replacing the fence.

The applicant is proposing to save most of the trees located on the site. The applicant needs to work with an arborist to protect the trees from damage during construction.

**General Plan and Zoning Consistency Findings:**

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential and this designation provides for single-family detached and attached homes. The project will facilitate a new single-family residence.
2. The project is consistent with the provisions of the Zoning Ordinance in that it meets of the applicable zoning regulations. The principal uses of the R-1 Zone are single-family homes and duplexes. The project will facilitate a new single-family residence.

**ENVIRONMENTAL ASSESSMENT:** The project is Categorically Exempt from CEQA, Section 15303 Class 3 Exemption, one single-family residence, or a second dwelling unit in a residential zone.

**PROJECT NOTIFICATION:** A notice advertising for the public hearing on this application was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Winters' Municipal Code and State Planning Law and was published in the Winters Express on 11/28/19 ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 12/5/19.

**ALTERNATIVES:** The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

**PLANNING COMMISSION ACTION:** Staff recommends the City of Winters Planning Commission take the following actions:

1. Confirmation of exemption from the provisions of CEQA.
2. Approve Site Plan/Design Review 2019-05 for a new single-family dwelling as depicted on the plans submitted and subject to the conditions of approval attached hereto.

**ATTACHMENTS:**

- A. Planning Commission minutes dated January 23, 2018
- B. Site plan and elevations
- C. Conditions of Approval
- D. Resolution 2018-01

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD  
JANUARY 23, 2018**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chairman Myer called the meeting to order at 6:30 p.m.

**PRESENT:** Commissioners, Altamirano, Baker, Contreras, Riley, Schrupp

**ABSENT:** Commissioners Adams, Myer

**STAFF:** City Manager John Donlevy, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

City Manager John Donlevy led the pledge of allegiance.

**CITIZEN INPUT:** None at this meeting.

**CONSENT ITEM:**

- A. Minutes of the October 10, 2017 and November 14, 2017 meeting of the Planning Commission.

Commissioner Contreras moved to approve, Commissioner Riley seconded.

**AYES:** Commissioners Altamirano, Baker, Contreras, Riley, Schrupp

**NOES:** None

**ABSTAIN:** None

**ABSENT:** Commissioners Adams, Myer

**STAFF/COMMISSION REPORTS:**

None.

**DISCUSSION ITEM:**

- A. Public Hearing and Consideration of an application by Robert Coman for a Parcel Map subdividing an existing 17,275 square foot lot into two parcels (Parcel One 7,495 square feet and Parcel Two 9,780 square feet). The property is located at 117 Second Street APN 003-242-013.

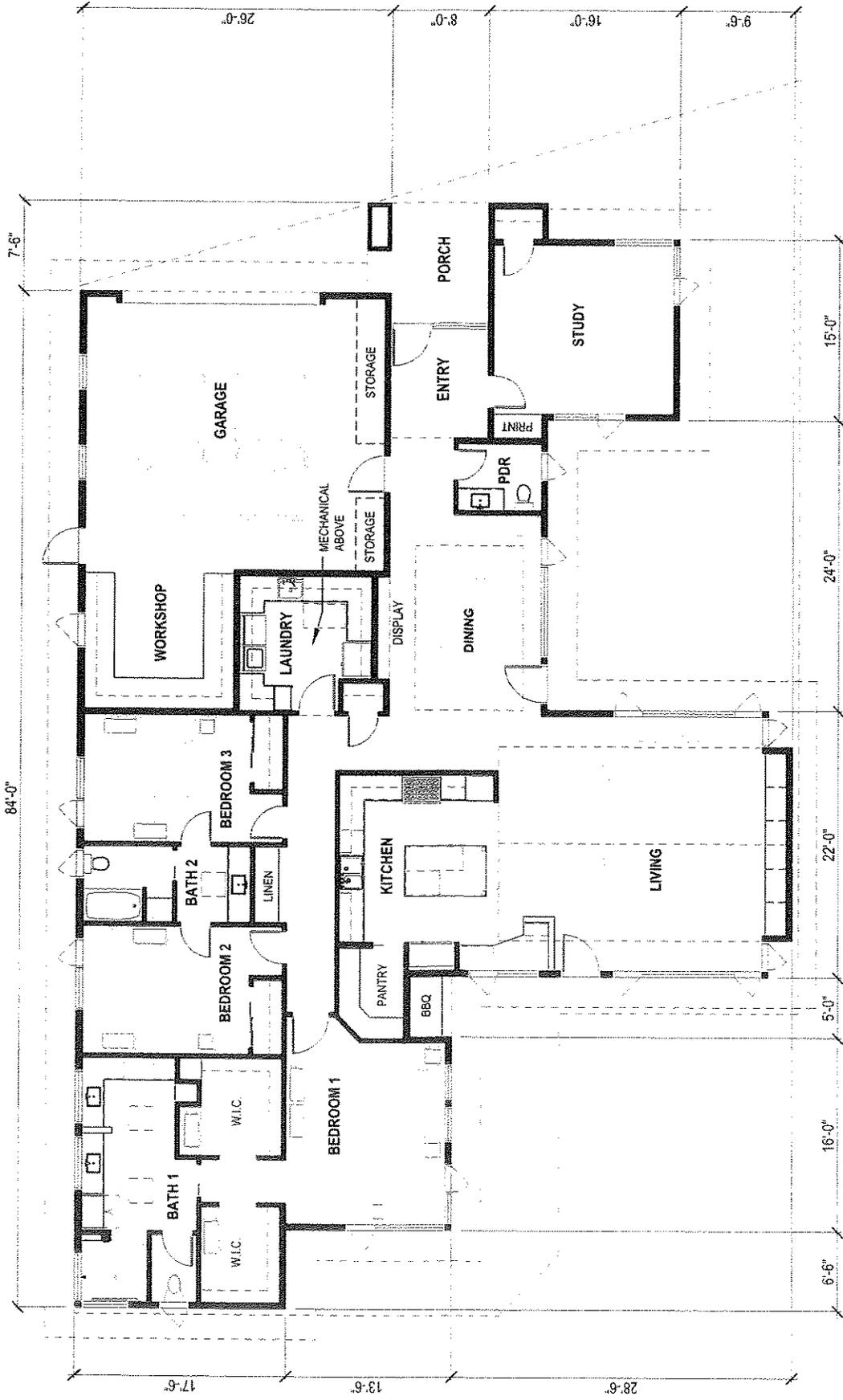
Contract Planner Dave Dowswell gave a description of the proposed lot split.

Staff made the recommendation to approve subject to the set conditions.

**PUBLIC COMMENTS:**

Resident Sandy Vickrey stated that the average lot size width in the "old" part of town is mostly 50 feet, with the exception of some properties being 62.5 feet wide and 75 feet wide.

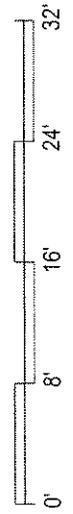




**LEWIS RESIDENCE**

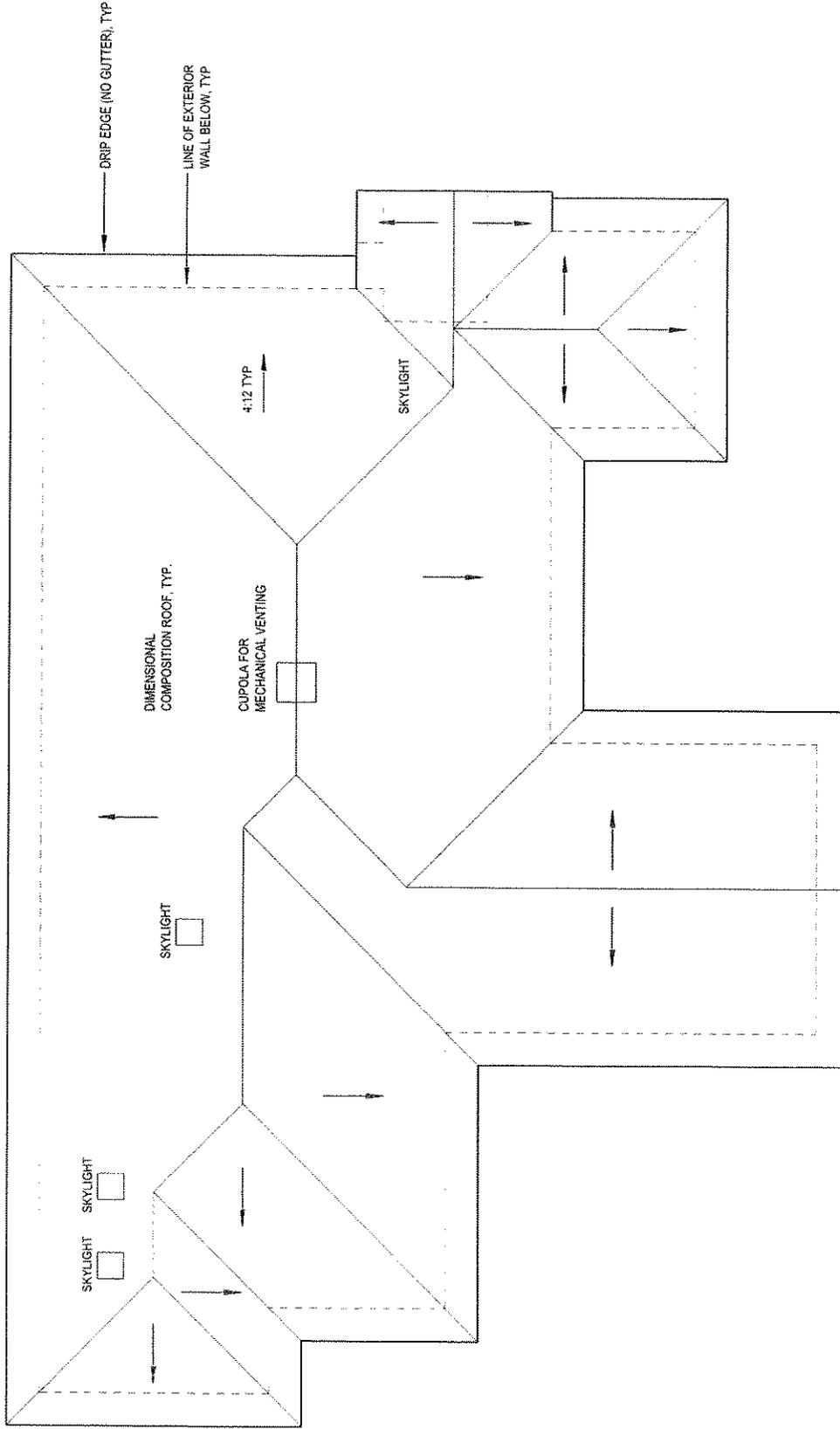
Robert Lindley, Architect  
 2307 Poppy Lane, Davis, CA  
 November 2, 2019

1/8"=1'-0" SCALE



**FLOOR PLAN**

**A2**



ROOF PLAN

A3

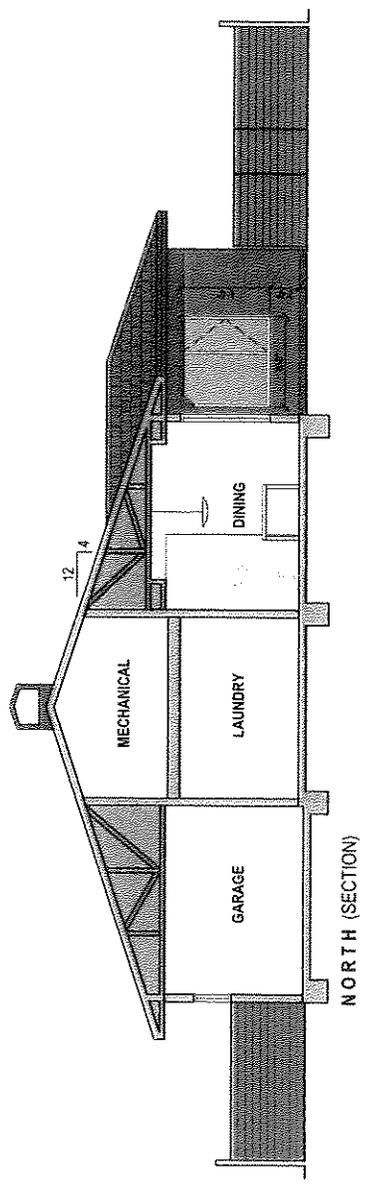
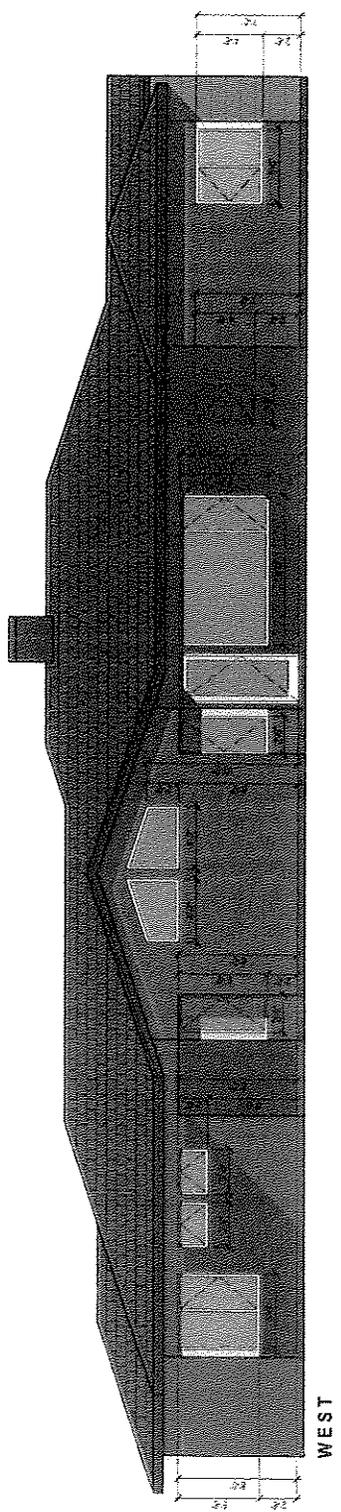
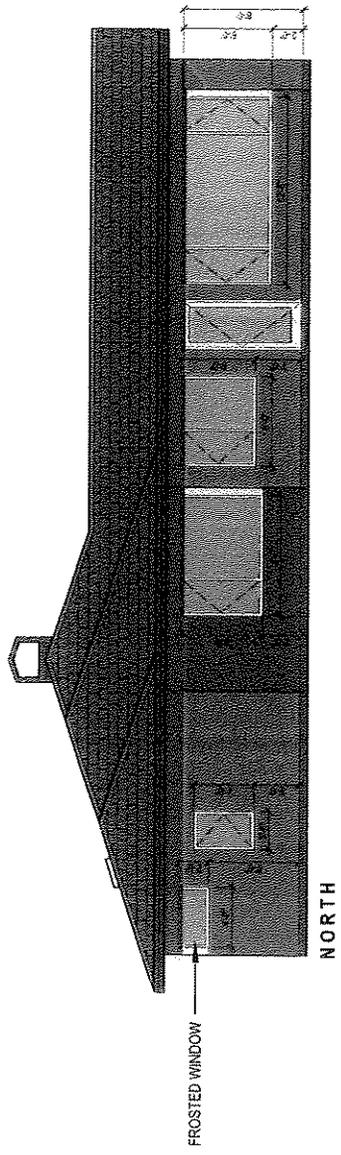
LEWIS RESIDENCE

Robert Lindley, Architect  
 2307 Poppy Lane, Davis, CA  
 November 2, 2019

1/8"=1'-0" SCALE

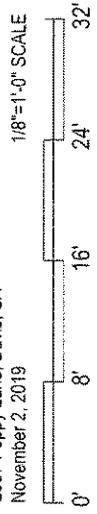






**LEWIS RESIDENCE**

Robert Lindley, Architect  
 2307 Poppy Lane, Davis, CA  
 November 2, 2019



**EXTERIOR ELEVATIONS**

**109 Wolfskill Street  
Site Plan/Design Review 2019-05**

**CONDITIONS OF APPROVAL  
December 10, 2019**

1. The project is described in the December 10, 2019 Planning Commission staff report. The project shall be constructed as depicted on the exhibits included as Attachment A to the staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (December 19, 2020) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request.
3. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action or proceeding to attach set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, or any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employee, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.
4. The applicant shall pay all applicable taxes, fees, and charges at the rate and amount in effect at the time of such taxes, fees, and charges become due and payable.
5. All work within the public right-of-way or easement shall comply with the specifications of the City of Winters' Engineering Design and Construction Standards. An encroachment permit shall be required for all work performed in the public right-of-way.

**ATTACHMENT C**

6. The address number for the property shall be clearly visible from the street fronting the property. The address numbering shall be either four (4) inch illuminated numbers or six (6) inch non-illuminated numbers on contrasting background.
7. If not already installed, the applicant shall install a sewer lateral and cleanout that comply with the specifications of the City of Winters' Engineering Design and Construction Standards acceptable to the Public Works Director.
8. The applicant shall comply with all applicable conditions of approval for the Coman/Young parcel map (Resolution 2018-01).
9. If not already installed, the applicant shall install a water lateral and meter that comply with the specifications of the City of Winters' Engineering Design and Construction Standards and in locations acceptable to the Public Works Director.
10. The applicant shall obtain all required City permits shall pay all applicable fees (building, impact, encroachment, etc.).
11. The applicant shall provide the City with a proof of payment for Winters Joint Unified School District facility fees at building permit issuance.
12. Water used in the course of construction shall be metered and shall be at the cost adopted annually by the City Council.
13. The applicant needs to work with an arborist prior to grading of the site to insure the trees being saved will be protected from damage during construction.
14. The applicant shall provide for City review a plan to landscape the front yard of the proposed single-family residence, which includes a 15-gallon street tree, type of tree to be taken from the City's approved street tree list. A final inspection for the single-family residence shall not be scheduled nor occupancy authorized until the front yard is landscaped and an approved street tree planted in the front yard.
15. The applicant shall work with the property owner of 105 Second Street to replace the shared wooden fence.
16. A final inspection for the single-family residence shall not be scheduled nor occupancy authorized until the public improvements required for this project have been installed, inspected, and accepted by the Public Works Director.
17. Payment of City of Winters' monthly utility billing charges shall commence once the single-family residence has passed final inspection.

**RESOLUTION NO. 2018-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WINTERS  
APPROVING A PARCEL MAP TO SUDIVIDE 117 SECOND STREET, APN 003-242-  
013 INTO TWO LOTS**

**WHEREAS**, on January 23, 2018 the Planning Commission, pursuant to Government Code Section 65090, held a noticed public hearing for the purpose of receiving public testimony concerning the proposed project; and

**WHEREAS**, pursuant to the California Environmental Quality Act ("CEQA") it was determined that the Parcel Map is Categorically Exempt from CEQA Section 15315 (Minor Land Divisions); and

**WHEREAS**, the Coman/Young Parcel Map, Exhibit "A", to subdivide 117 Second Street, APN 003-242-013 into two parcels is consistent with the Winters General Plan and Municipal Code; and

**WHEREAS**, the site is physically suitable for the proposed type and density of development; and

**WHEREAS**, the Coman/Young Parcel Map will not conflict with the public easements for access through, or use of, property for the proposed subdivision.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Winters hereby approves the Coman/Young Parcel Map ("Project"), subject to the following conditions of approval:

**Planning**

1. The project is described in the January 23, 2018 Planning Commission staff report and as shown on the exhibits included in the January 23, 2018 Planning Commission Staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. Approval of the applicants' project shall be null and void if the applicant fails to submit a final parcel map for the project within 36 months of the Planning Commission's approval of the Parcel Map application.

**Public Works**

3. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project applicant shall defend, indemnify, and hold harmless the City or its agents,

officers, and employees, from liability, damages, penalties, costs, or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense, which include court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district, and the City Council.

4. The applicant shall provide the City with one mylar and four paper copies of the recorded map.
5. The applicant shall pay all applicable taxes, fees, and charges at the rate amount in effect at the time of such taxes, fees, and charges become due and payable.
6. Prepare improvement plans for work within the public right-of-way, including an on-site grading plan, and submit them to the Public Works department for review and approval. The improvement plan sheets shall conform to the City of Winters Public Improvements Standards and Construction Standards. This submittal is separate from the building permit submittal. The applicants shall provide two sets of each improvement plan submittal for review. Upon City Engineer approval, the applicants shall provide 2 wet-stamped sets of approved improvement plans, two wet-stamped sets of approved grading plans, and two print sets of the grading plans. The applicants shall submit and one electronic media file (PDF) of the entire set of plans.
7. Submit a soils report along with the improvement plans.
8. All perimeter parcels and lots shall be protected against surface runoff from adjacent properties in a manner acceptable to the City Engineer.
9. All projects shall include implementation of post-construction best management practices (BMP). Post construction BMP's shall be identified on improvement plans and approved by the City Engineer. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit.
10. Landscaped slopes along streets shall not exceed 5:1; exceptions shall require approval of the City Engineer. Level areas having a minimum width of two (2) feet shall be required at the toe and top of said slopes.
11. All inactive portions of the construction site, which have been graded will be seeded and watered until vegetation is grown.

12. Grading shall not occur when wind speeds exceeds 20 MPH over a one hour period.
13. Potentially windblown materials shall be watered or covered.
14. Construction areas and streets shall be wet swept.
15. The property shall be connected to the City of Winters water and sewer system, at the Applicant's expense, with a separate water service and sewer lateral required for each parcel, in accordance with City of Winters Public Improvement standards and Construction Standards.
16. At the time the Building Permit is issued, the applicant will be required to pay the appropriate City connection Fees. All domestic water services will be metered. Water meters shall be installed on all water services to the satisfaction of the Public Works Department.
17. The City of Winters Inspection Fee applies and is due before approval of the public improvement plans.
18. The conditions as set forth in this document are not all inclusive. Applicants shall thoroughly review all city, state, and federal planning documents associated with this map and comply with all regulations, mitigations and conditions set forth.
19. Joint trench/utility/composite plans shall be submitted to the City Engineer for review, prior to approval of the final map and improvement plans.
20. The public improvements on the improvement plans shall be constructed and accepted prior to issuance of any building permit.
21. Occupancy shall not occur until on-site grading and off-site public improvements have been accepted by the City Engineer and as-built drawings have been submitted. Applicants, and/or owners shall be responsible to so inform prospective buyers, lessees, or renters of this condition.
22. As part of the public improvements, the engineer or surveyor shall set sufficient durable monuments to conform to the standards described in Section 8771 of the Business and Professions Code.
23. Conform to County Health regulations and requirements for the abandonment of a septic tanks and water wells.
24. Existing public and private facilities damaged during the course of construction shall be repaired by the applicant, at his sole expense, to the satisfaction of Public Works.
25. The damaged sidewalk along Wolfskill Street the east end of Parcel Two shall be replaced. .

**I HEREBY CERTIFY** that the foregoing Resolution was adopted by the City Council of the City of Winters at a regular meeting held on the 23rd day of January, 2018, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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Paul Myers, Chairperson  
Winters Planning Commission

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Nanci G. Mills, City Clerk  
City of Winters





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners  
**DATE:** December 10, 2019  
**FROM:** Dave Dowswell, Contract Planner, Community Development Department   
**SUBJECT:** Public Hearing and Consideration of Site Plan/Design Review 2019-03 for Lot 18 in Phase 2 of the Olive Grove Subdivision.

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**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Design/Site Plan Review for Lot 18 Olive Grove Subdivision Phase 2.

**GENERAL PLAN LAND USE DESIGNATION:** The General Plan land use designation for the site is Low Density Residential (LR).

**SURROUNDING LAND USES, ZONING, AND SETTING:** The surrounding land uses and zoning are as follows:

North: Single Family – Single Family Residential (R-1)  
South: Single Family – Single Family Residential (R-1)  
East: Single Family – Single Family Residential (R-1)  
West: Cemetery – Public Quasi Public (PQP)

**BACKGROUND:** On July 18, 2017 the City Council approved the revised twenty-one (21) Lot Olive Grove Subdivision. The subdivision was to be built in two phases; lots 1-5 in Phase 1 and Lots 6-21 in Phase 2.

On June 26, 2018 the Planning Commission approved the design of the five models for the Phase 1 of the Olive Grove Subdivision being built along Hemenway Street.

On November 12, 2019 the Planning Commission considered the site plan/design review for Lot 18. At the hearing several residents spoke, mostly about the drainage issues they have had due to the grading of the Olive Grove Subdivision. The applicant's engineer spoke and indicated, based on the revised grading plan, once the grading was completed the flooding problems should be resolved. The Planning Commission had several questions as to when the grading was going to be completed and would it work. At the conclusion of the discussion the Commission voted to continue the hearing until December 10 and requested the applicant's engineer provide a report answering the residents and commission questions/concerns about the drainage.

**PROJECT DESCRIPTION:** The applicant, Chris Williams, is applying for Design/Site Plan Review for a single-family home Lot 18 located along Apricot Avenue, Phase 2 of the Olive Grove Subdivision.

The home will be two stories, with a two-car garage. The building facade includes: board and batten siding on the front, rear and right elevation, a combination of board and batten siding and horizontal lap siding on the left elevation, and both composition shingles and standing-metal-seam roofing. Windows and doors to be trimmed with wood. The plans do not indicate what the size of the trim or type of material, size of fascia boards and what material will be used for the horizontal lap siding (Attachment A). No landscaping or fencing plan has been submitted.

**DESIGN/SITE PLAN REVIEW:** Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects (guidelines) for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

## **ANALYSIS:**

Design Review - The design of the homes in the immediate area are varied. The house to the south, which is a large custom home, has a stucco finish with a tile roof. To the

north and east are homes with either horizontal and vertical siding with composition roofs. It is unclear as to why the house is proposed to have two different roof and siding materials, with a combination of both on the lower floor. Staff recommends that if two different roofing materials are used on the upper floor roof be standing-metal-seam and the entire lower floor roof be composition shingles. It is also unclear why the house is proposed to have two different siding materials. Staff recommends the entire house be finished with board and batten siding.

Overall with the proposed design is compatible with the design of the homes in the immediate neighborhood including the three homes currently under construction on Hemenway Street. As mentioned above, the plans do not indicate the size of the wood trim around the windows and doors or the fascia board. Staff recommends the window and door trim and fascia board be a minimum of 2 inches in width.

The proposed home will not abut any existing single-family homes only the cemetery. As a result, the home should not adversely impact the privacy of any of the adjoining properties.

Landscaping and Fencing - The City requires all new homes to provide front yard landscaping with an irrigation system and perimeter fencing. It is recommended staff be allowed to approve the landscaping and fencing administratively. Fencing shall be designed as a wood "good neighbor" fence. Steel posts shall be used faced with wood to reduce long-term maintenance costs.

Tentative Map – Lot 18 is part of Phase 2 of the Olive Grove Subdivision (Attachment B). The following conditions of approval must be addressed before a building permit can be issued.

1. A Subdivision Improvement and Maintenance Agreement shall be entered into and recorded prior to construction of improvements and/or issuance of any building permits.
2. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances temporary roads may be allowed, but must be approved by the City of Winters City Engineer and Fire Department
3. A tentative map (final or parcel) shall be processed and shall be recorded for Phase 2 prior to issuance of any building permits. The Developer shall provide, to the City Engineer, one recorded Mylar copy and four print copies of the final map from the County, prior to issuance of the first building permit.

Since the November 12, 2019 meeting there has been a considerable amount of rain. There was also a water main break on the cemetery property, which drains towards this subdivision. According to the applicant's engineer all the drainage improvements have been working and there has been no flooding onto the adjoining neighbors' properties. Attached is a Best Management Practices (BMP) on the status of the drainage (Attachment C).

**General Plan and Zoning Consistency Findings:**

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential and this designation provides for single-family detached and attached homes. The project will facilitate a new single-family residence.
2. The project is consistent with the provisions of the Zoning Ordinance in that it meets of the applicable zoning regulations. The principal uses of the R-1 Zone are single-family homes and duplexes. The project will facilitate a new single-family residence.

**ENVIRONMENTAL ASSESSMENT:** A Mitigated Negative Declaration and Mitigation Monitoring Plan were adopted by the Winters City Council on 09/02/08 as part of the General Plan amendment and rezone approved by the City Council for the 1.42-acre parcel adjacent to the cemetery.

**PROJECT NOTIFICATION:** A notice advertising for the public hearing on this application was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Winters' Municipal Code and State Planning Law and was published in the Winters Express on 10/31/19 ten days prior to the hearing. At the November 12, 2019 Planning Commission hearing the Commission continued the hearing to December 10, 2019. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 12/5/19.

**ALTERNATIVES:** The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

**PLANNING COMMISSION ACTION:** Staff recommends the City of Winters Planning Commission take the following actions:

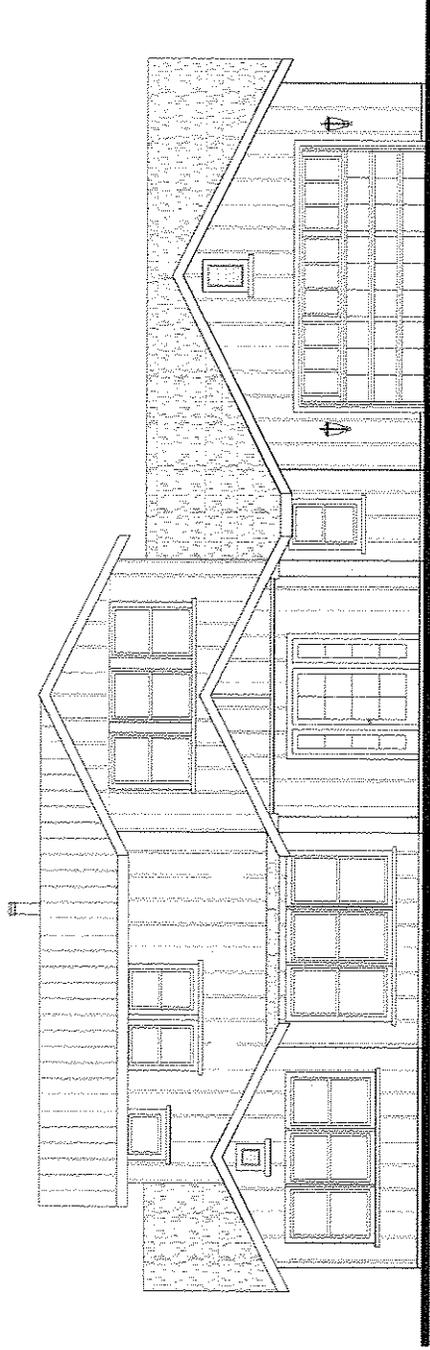
1. Confirmation of exemption from the provisions of CEQA.
2. Approve Site Plan/Design Review 2019-03 for a new single-family dwelling as depicted on the plans submitted and subject to the conditions of approval attached hereto.

**ATTACHMENTS:**

- A. Site Plan and Elevations
- B. Tentative Map
- C. Report from applicant's engineer
- D. Conditions of Approval

# OLIVE GROVE LOT 18

740 Apricot Avenue  
Winters, CA 95694



## ATTACHMENT A

REV	DATE	DESCRIPTION

OLIVE GROVE  
LOT 18  
740 Apricot Ave, Winters, CA 95694



DATE: 02/12/18  
SCALE: AS NOTED  
PROJECT: Olive Grove Lot 18  
SHEET: 01

A1  
OF 34 SHEETS

### GENERAL NOTES

**COMPLIANCE:**  
ALL WORK SHALL COMPLY TO THE 2018 CALIFORNIA RESIDENTIAL CODE, 2018 CALIFORNIA BUILDING CODE, 2018 CALIFORNIA MECHANICAL CODE, 2018 CALIFORNIA ELECTRICAL CODE, 2018 CALIFORNIA FIRE AND SAFETY CODE, 2018 CALIFORNIA LAND USE CODE, AND ALL APPLICABLE ORDINANCES AND REGULATIONS INCLUDING ANY REQUIREMENTS OF THE CITY OF WINTERS, CALIFORNIA.

**DIMENSIONS:**  
ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE FIELD DIMENSIONS AND COORDINATED WITH ARCHITECTURAL DRAWINGS.

**SAFETY:**  
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF ALL APPLICABLE AGENCIES AND AGENCIES HAVING JURISDICTION OVER THE WORK.

**COORDINATION:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK BETWEEN DIFFERENT TRADES AND THE OBTAINING OF NECESSARY PERMITS AND REGULATIONS OF ALL APPLICABLE AGENCIES.

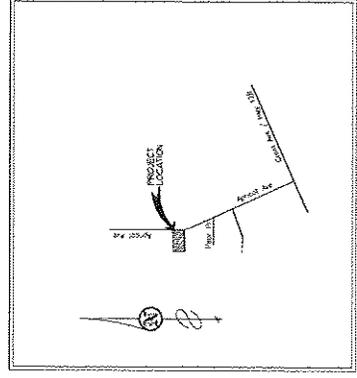
### PROJECT DATA

**PROJECT ADDRESS:** 740 Apricot Avenue, Winters, CA 95694  
**ASSESSOR'S PARCEL NUMBER:** 015-015-015-015  
**PROJECT:** New single family detached custom home  
**BUILDING TYPE:** TYPE V-S  
**OCCUPANCY:** R-3  
**STORIES/HEIGHT:** Two  
**AREA ANALYSIS:**  
 First Level Floor plan: 2,881 sq. ft.  
 Second Level Floor plan: 1,500 sq. ft.  
 Total Livable: 4,381 sq. ft.  
 Covered Front Porch: 85 sq. ft.  
 Covered Back Porch: 195 sq. ft.  
 Covered Back Porch (KITCHEN): 28 sq. ft.  
 Garage: 573 sq. ft.

**OWNER:** Kristine & Steve  
740 Apricot Avenue  
Winters, CA 95694

**STRUCTURAL ENGINEER:** Chad Gil  
G. Structural Engineering Services  
15000 Sycamore Blvd., Suite 100  
Winters, CA 95694  
(530) 267-3333

### SITE LOCATION INT.



### SHEET INDEX

DRAWING DESCRIPTION	SHEET NUMBERS
COVER SHEET / SHEET INDEX	A1
ARCHITECTURAL SITE PLAN	A2
ARCHITECTURAL SECOND FLOOR PLAN	A3
ARCHITECTURAL EXTERIOR ELEVATIONS	A4
ARCHITECTURAL EXTERIOR ELEVATIONS	A5
ARCHITECTURAL EXTERIOR ELEVATIONS	A6
BUILDING SECTIONS	A7
ARCHITECTURAL DETAILS	D1
ELECTRICAL / MECHANICAL FIRST FLOOR PLAN	E1
ELECTRICAL / MECHANICAL SECOND FLOOR PLAN	E2
STRUCTURAL FOUNDATION PLAN	F1
STRUCTURAL FLOOR TRAPPING PLAN	F2
STRUCTURAL ROOF TRAPPING PLAN	F3
STRUCTURAL DETAILS	S4
STRUCTURAL DETAILS	S5
STRUCTURAL DETAILS	S6

REVISIONS	BY

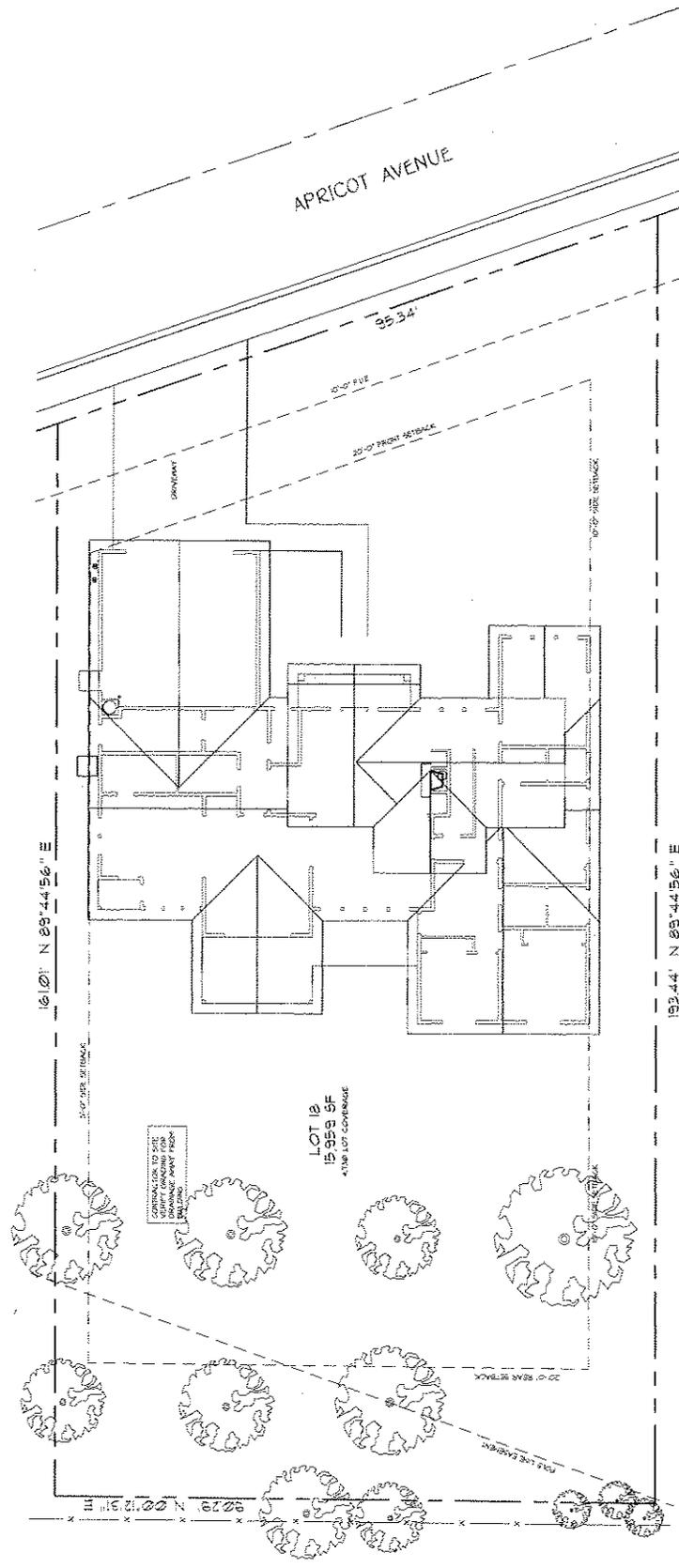
740 Apricot Ave., Winters, CA 95694  
**LOT 18**  
**OLIVE GROVE**

Michelle  
 REALTOR  
 1111 Main Street, Suite 101  
 Winters, CA 95694  
 916.212.2102

DATE: 09/12/10  
 DRAWN: J. J. JENSEN  
 CHECKED: J. J. JENSEN  
 SCALE: AS NOTED  
 SHEET: 1 OF 1  
**A2**

**GENERAL NOTES**

1. THIS PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE LAYOUT ONLY.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. PROVIDE ADEQUATE WASTEWATER AND DAMAGING DRAINAGE DIRECTION AND CONSTRUCTION.
4. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
5. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
6. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
7. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
8. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
9. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.
10. EXISTING UTILITIES SHALL BE SHOWN AS NOTED, BUT NOT GUARANTEED.



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

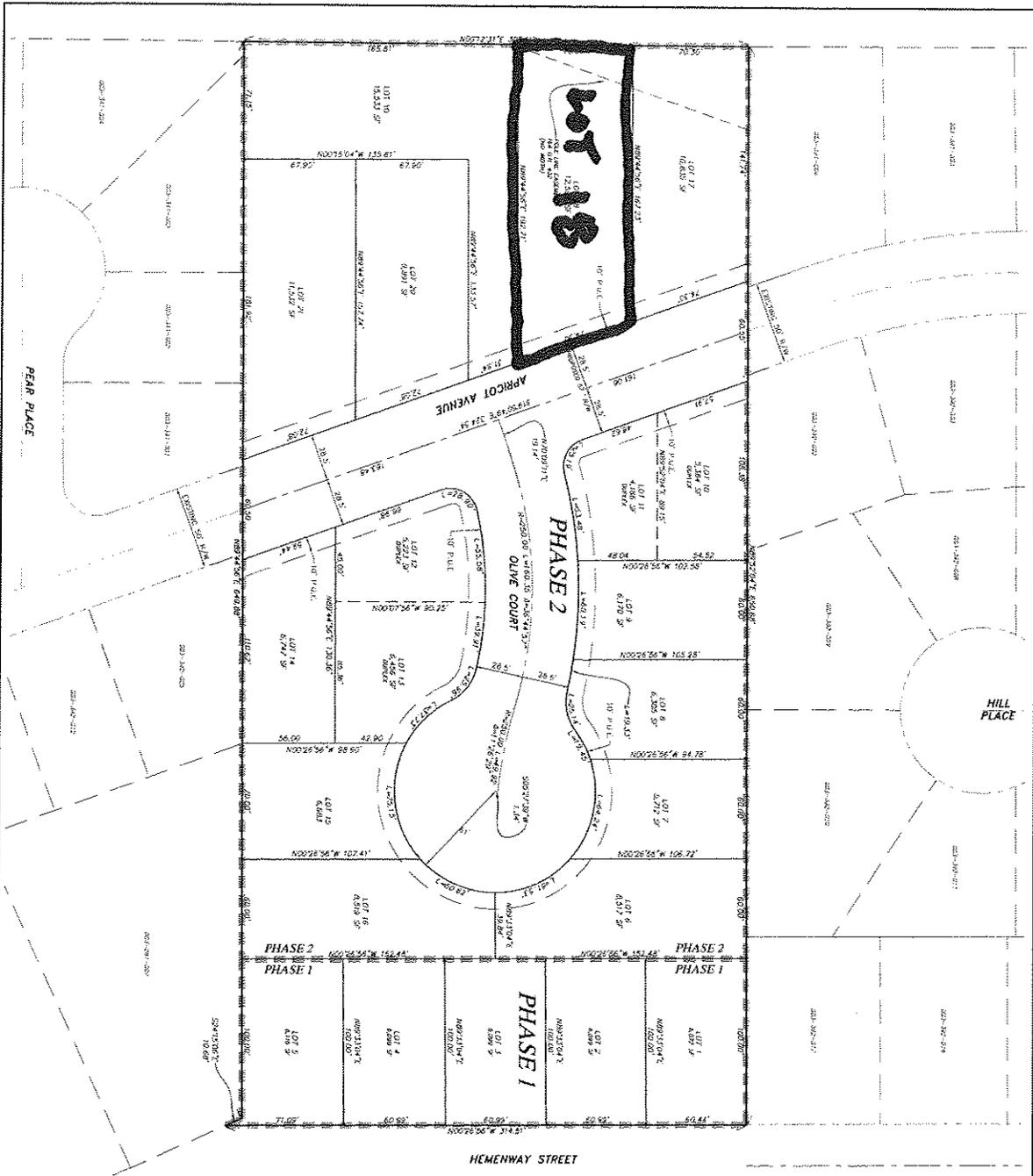
THIS IS NOT A SURVEY



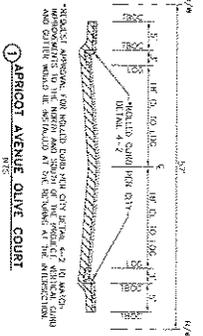








AGENDED TENTATIVE MAP  
 FOR  
 OLIVE GROVE  
 SUBDIVISION NO. 5986  
 L.M. LAUGENOUR AND MEIKLE  
 SURVEYORS  
 1100 WEST WASHINGTON AVENUE, SUITE 100  
 ANN ARBOR, MICHIGAN 48106-1500  
 PHONE: 734.769.1111  
 FAX: 734.769.1112  
 APRIL 20, 2017  
 SHEET 2 OF 3



# ATTACHMENT B

**Risk Level 1  
Visual Inspection Field Log Sheet**

Date and Time of Inspection: 12/03/2019 3:00 pm Report Date: 12/03/2019

Inspection Type:  Weekly  Before predicted rain  During rain event  Following qualifying rain event  Contained stormwater release  Quarterly non-stormwater

**Site Information**

Construction Site Name: Olive Grove, Winters

Construction stage and completed activities: Grading, Housing Approximate area of exposed site: 4.7 AC.

**Weather and Observations**

Date Rain Predicted to Occur: 11/26/2019 Predicted % chance of rain: 100%

Estimate storm beginning: 11/26/2109 4PM (date and time)	Estimate storm duration: 4 HRS (hours)	Estimate time since last storm: 0 DAYS (days or hours)	Rain gauge reading: 2.4 (inches)
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Observations: If yes identify location

Odors	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Floating material	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Suspended Material	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Sheen	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Discolorations	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Turbidity	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

**Site Inspections**

Outfalls or BMPs Evaluated	Deficiencies Noted
(add additional sheets or attached detailed BMP Inspection Checklists)	
SEE PHOTOS	

Photos Taken: Yes  No  Photo Reference IDs: 1963-2-5/INSPECTIONS

**Corrective Actions Identified (note if SWPPP/REAP change is needed)**

**Inspector Information**

Inspector Name: ALEX BAILEY Inspector Title: QSP ASSISTANT

Signature: Date: 12/03/2019

## BMP INSPECTION REPORT

Date and Time of Inspection: <b>12/03/2019 3:00 pm</b>		Date Report Written: <b>12/03/2019</b>	
Inspection Type: (Circle one)	<input type="checkbox"/> Weekly <i>Complete Parts I, II, III and VII</i>	<input type="checkbox"/> Pre-Storm <i>Complete Parts I, II, III, IV and VII</i>	<input checked="" type="checkbox"/> During Rain Event <i>Complete Parts I, II, III, V, and VII</i>
<b>Part I. General Information</b>			
<b>Site Information</b>			
Construction Site Name: <b>OLIVE GROVE SUBDIVISION</b>			
Construction stage and completed activities:		Grading, Housing	Approximate area of site that is exposed: <b>4.7 AC.</b>
Photos Taken: (Circle one)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Photo Reference IDs: <b>1963-2-5/INSPECTIONS</b>
<b>Weather</b>			
Estimate storm beginning: (date and time)		Estimate storm duration: (hours)	
<b>11/26/2109 4PM</b>		<b>4 HRS</b>	
Estimate time since last storm: (days or hours)		Rain gauge reading and location: (in)	
<b>0 DAYS</b>		<b>2.4 University Airport (KEDU)</b>	
Is a "Qualifying Event" predicted or did one occur (i.e., 0.5" rain with 48-hrs or greater between events)? (Y/N) Y If yes, summarize forecast:			
<b>RAIN PREDICTED TO OCCUR ON AND OFF OVER THE NEXT FEW DAYS</b>			
Exemption Documentation (explanation required if inspection could not be conducted). Visual inspections are not required outside of business hours or during dangerous weather conditions such as flooding or electrical storms.			
<b>Inspector Information</b>			
Inspector Name: <b>ALEX BAILEY</b>		Inspector Title: <b>QSP ASSISTANT</b>	
Signature:		Date: <b>12/03/2019</b>	

**Part II. BMP Observations. Describe deficiencies in Part III.**

Minimum BMPs for Risk Level <u>1</u> Sites	Failures or other short comings (yes, no, N/A)	Action Required (yes/no)	Action Implemented (Date)
<b>Good Housekeeping for Construction Materials</b>			
Inventory of products (excluding materials designed to be outdoors)	✓	☐	
Stockpiled construction materials not actively in use are covered and bermed	✓	☐	
All chemicals are stored in watertight containers with appropriate secondary containment, or in a completely enclosed storage shed	✓	☐	
Construction materials are minimally exposed to precipitation	✓	☐	
BMPs preventing the off-site tracking of materials are implemented and properly effective	✓	☐	
<b>Good Housekeeping for Waste Management</b>			
Wash/rinse water and materials are prevented from being disposed into the storm drain system	✓	☐	
Portable toilets are contained to prevent discharges of waste	✓	☐	
Sanitation facilities are clean and with no apparent for leaks and spills	✓	☐	
Equipment is in place to cover waste disposal containers at the end of business day and during rain events	✓	☐	
Discharges from waste disposal containers are prevented from discharging to the storm drain system / receiving water	✓	☐	
Stockpiled waste material is securely protected from wind and rain if not actively in use	✓	☐	
Procedures are in place for addressing hazardous and non-hazardous spills	✓	☐	
Appropriate spill response personnel are assigned and trained	✓	☐	
Equipment and materials for cleanup of spills is available onsite	✓	☐	
Washout areas (e.g., concrete) are contained appropriately to prevent discharge or infiltration into the underlying soil	✓	☐	
<b>Good Housekeeping for Vehicle Storage and Maintenance</b>			
Measures are in place to prevent oil, grease, or fuel from leaking into the ground, storm drains, or surface waters	✓	☐	
All equipment or vehicles are fueled, maintained, and stored in a designated area with appropriate BMPs	✓	☐	
Vehicle and equipment leaks are cleaned immediately and disposed of properly	✓	☐	

<b>Part II. BMP Observations Continued. Describe deficiencies in Part III.</b>			
<b>Minimum BMPs for Risk Level <u>  1  </u> Sites</b>	<b>Adequately designed, implemented and effective (yes, no, N/A)</b>	<b>Action Required (yes/no)</b>	<b>Action Implemented (Date)</b>
<b>Good Housekeeping for Landscape Materials</b>			
Stockpiled landscape materials such as mulches and topsoil are contained and covered when not actively in use	<input type="checkbox"/>	<input type="checkbox"/>	
Erodible landscape material has not been applied 2 days before a forecasted rain event or during an event	<input type="checkbox"/>	<input type="checkbox"/>	
Erodible landscape materials are applied at quantities and rates in accordance with manufacturer recommendations	<input type="checkbox"/>	<input type="checkbox"/>	
Bagged erodible landscape materials are stored on pallets and covered	<input type="checkbox"/>	<input type="checkbox"/>	
<b>Good Housekeeping for Air Deposition of Site Materials</b>			
Good housekeeping measures are implemented onsite to control the air deposition of site materials and from site operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Non-Stormwater Management</b>			
Non-Stormwater discharges are properly controlled	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Vehicles are washed in a manner to prevent non-stormwater discharges to surface waters or drainage systems	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Streets are cleaned in a manner to prevent unauthorized non-stormwater discharges to surface waters or drainage systems.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>Erosion Controls</b>			
Wind erosion controls are effectively implemented	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Effective soil cover is provided for disturbed areas inactive (i.e., not scheduled to be disturbed for 14 days) as well as finished slopes, open space, utility backfill, and completed lots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
The use of plastic materials is limited in cases when a more sustainable, environmentally friendly alternative exists.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Sediment Controls</b>			
Perimeter controls are established and effective at controlling erosion and sediment discharges from the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Entrances and exits are stabilized to control erosion and sediment discharges from the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Sediment basins are properly maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Run-On and Run-Off Controls</b>			
Run-on to the site is effectively managed and directed away from all disturbed areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Other</b>			
Are the project SWPPP and BMP plan up to date, available on-site and being properly implemented?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<b>Part III. Descriptions of BMP Deficiencies</b>		
Deficiency	Repairs Implemented: Note - Repairs must begin within 72 hours of identification and, complete repairs as soon as possible.	
	Start Date	Action
1.		SEE PHOTOS
2.		
3.		
4.		

<b>Part IV. Additional Pre-Storm Observations. Note the presence or absence of floating and suspended materials, sheen, discoloration, turbidity, odors, and source(s) of pollutants(s).</b>	
	Yes, No, N/A
Do stormwater storage and containment areas have adequate freeboard? If no, complete Part III.	
Are drainage areas free of spills, leaks, or uncontrolled pollutant sources? If no, complete Part VII and describe below.	
Notes:	
Are stormwater storage and containment areas free of leaks? If no, complete Parts III and/or VII and describe below.	
Notes:	

**Part V. Additional During Storm Observations.** If BMPs cannot be inspected during inclement weather, list the results of visual inspections at all relevant outfalls, discharge points, and downstream locations. Note odors or visible sheen on the surface of discharges. Complete Part VII (Corrective Actions) as needed.

**Outfall, Discharge Point, or Other Downstream Location**

Location	Description
Location	Description

**Part VI. Additional Post-Storm Observations.** Visually observe (inspect) stormwater discharges at all discharge locations within two business days (48 hours) after each qualifying rain event, and observe (inspect) the discharge of stored or contained stormwater that is derived from and discharged subsequent to a qualifying rain event producing precipitation of ½ inch or more at the time of discharge. Complete Part VII (Corrective Actions) as needed.

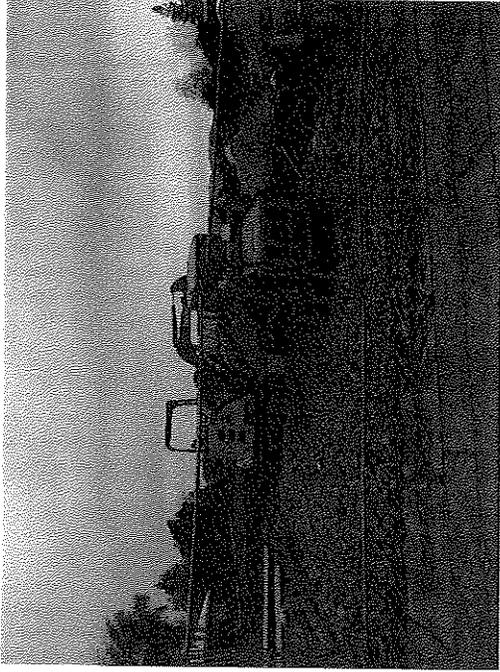
Discharge Location, Storage or Containment Area	Visual Observation

**Part VII. Additional Corrective Actions Required.** Identify additional corrective actions not included with BMP Deficiencies (Part III) above. Note if SWPPP change is required.

Required Actions	Implementation Date



12/03/2019 PHOTOS – Olive Grove, Winters



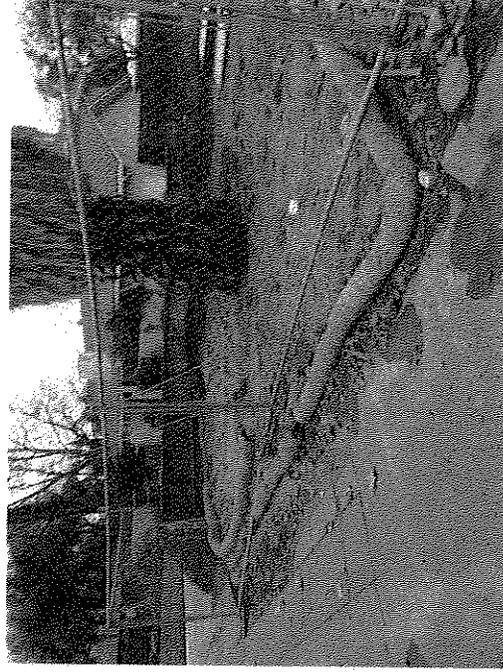
1: CONSTRUCTION ENTRANCE



3: GRADING ACTIVITIES



2: FRONTAGE TRENCHING

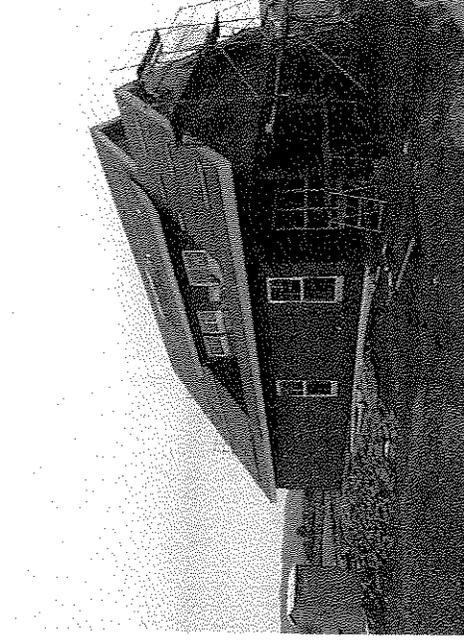


4: FRONTAGE

12/03/2019 PHOTOS – Olive Grove, Winters



6: PORTABLE TOILET



8: HOUSE CONSTRUCTION

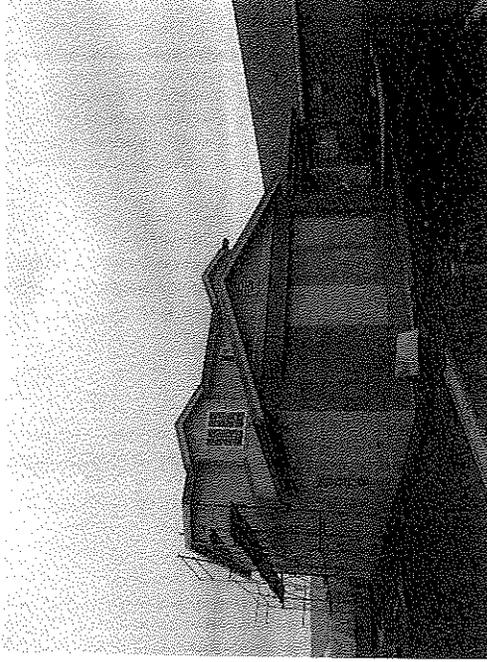


5: FRONTAGE IMPROVEMENTS



7: MATERIAL STOCKPILE

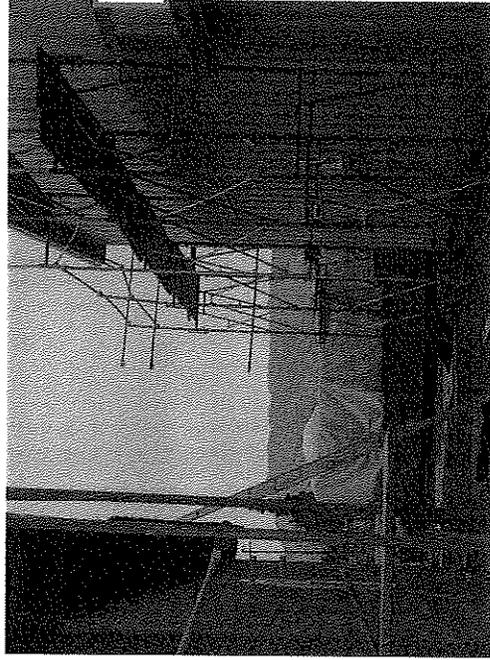
12/03/2019 PHOTOS – Olive Grove, Winters



9: HOUSE CONSTRUCTION



10: ROADWAY PROGRESS



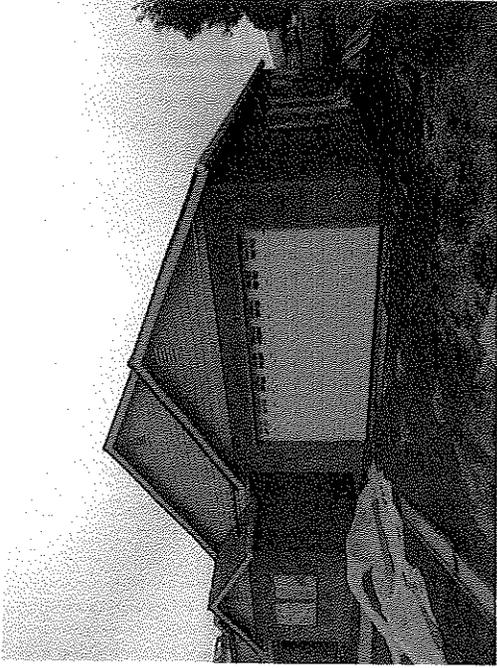
11: TRASH ENCLOSURE

CLEAN ON STREET  
TRACKING



12: FRONTAGE IMPROVEMENTS

12/03/2019 PHOTOS – Olive Grove, Winters



13: VEHICLE STORAGE



15: SOUTHERN PL BOUNDARY TRENCHING



14: SOUTHERN PL BOUNDARY TRENCHING

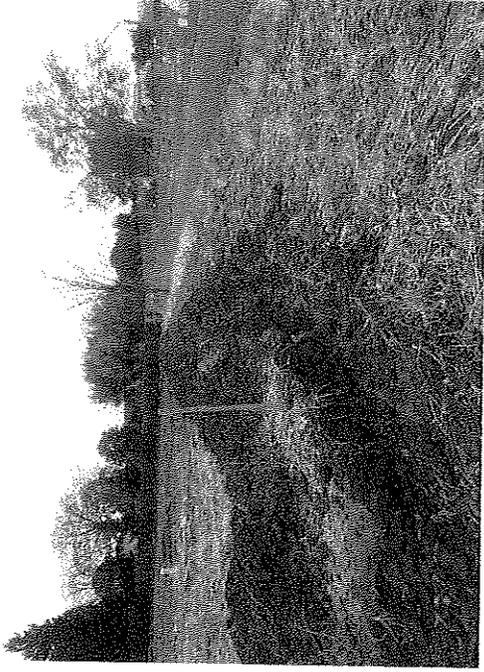


16: END OF IMPROVEMENTS

12/03/2019 PHOTOS – Olive Grove, Winters



17: PERIMETER TRENCHING



18: PERIMETER TRENCHING



19: LOT PROGRESS



20: PERIMETER TRENCHING

## Dave Dowswell

---

**From:** Bryan Bonino <bbp@lmce.net>  
**Sent:** Thursday, December 5, 2019 2:40 PM  
**To:** Dave Dowswell; Alex Bailey; Alan Mitchell; Armando Hernandez; Carol Scianna; chris williams; Kevin Burke; Neil Busch  
**Subject:** [EXTERNAL]RE: Olive Grove 12/03/2019 QSP Inspection Report  
**Attachments:** INSPECTION PHOTO REPORT.PDF; Report.pdf; Site Map.pdf

Find attached latest QSP report. Find below is a summary of the drainage improvement progress for the Olive Grove Construction Site

Actions that have been completed as of 12/04/2019:

- Grading of sloped pads for lots 14, 15 and 16
- Temporary trenching for southern PL and western PL
- Perimeter wattles and sand bags

Actions that still need to be completed:

- Grading of sloped pads for lots 5, 19, 21
- Permanent masonry retaining walls
- Permanent concrete valley gutter along western PL
- Complete construction of storm drain inlets onsite

Bryan P. Bonino | Principal, P.E., L.S.

### Laugenour and Meikle

Civil Engineering • Land Surveying • Planning  
608 Court Street, Woodland, CA 95695  
p: 530.662.1755 • c: 530.908.6843  
[bbp@lmce.net](mailto:bbp@lmce.net) • [www.lmce.net](http://www.lmce.net)

**From:** Dave Dowswell [mailto:dave.dowswell@cityofwinters.org]  
**Sent:** Wednesday, December 4, 2019 10:37 AM  
**To:** Alex Bailey <abailey@lmce.net>; Alan Mitchell <alan.mitchell@ponticelloinc.com>; Armando Hernandez <armando@hernandezgeneralengineering.com>; Bryan Bonino <bbp@lmce.net>; Carol Scianna <carol.scianna@cityofwinters.org>; chris williams <williams.chris07@gmail.com>; Kevin Burke <kevin.burke@ponticelloinc.com>; Neil Busch <nbusch@lmce.net>  
**Subject:** RE: Olive Grove 12/03/2019 QSP Inspection Report

Bryan,

If possible, could you prepare a brief memo or send me an email elaborating a bit on what steps have been taken to alleviate the drainage problems and if there is anything else that needs to be done? I would like to include whatever you prepare with the staff report.

Dave



**Lot 18 Phase 2, Olive Grove Subdivision  
Site Plan/Design Review 2019-03**

**CONDITIONS OF APPROVAL  
December 10, 2019**

1. The project is described in the December 10, 2019 Planning Commission staff report. The project shall be constructed as depicted on the exhibits included as Attachment A to the staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (December 19, 2020) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request submitted to the Community Development Director.
3. Prior to submitting plans to the Building Division the applicant shall revise the drawings as follows:
  - a. The upper floor roof shall be standing-metal-seam and the entire lower floor roof be composition shingles.
  - b. The entire house be finished with board and batten siding.
  - c. The window, door and fascia trim shall be a minimum width of two (2) inches.
  - d. Indicate what the board and batten material will be.
  - e. All downspouts and roof vents shall be painted the adjacent surface color.
4. Prior to issuance of a building permit the applicant shall submit for approval by the Community Development Department the following:
  - a. Front yard landscaping plan, including irrigation. Plan shall include one (1) 15-gallon tree per lot taken from the approved street tree list.
  - b. Fencing plan. Fencing shall be designed as a "good neighbor" solid wood fence using steel posts, faced with wood, to reduce long-term maintenance costs.
5. The applicant/owner shall pay all applicable impact fees and charges at the rate and amount in effect at the time such fees and charges become due and payable.

**ATTACHMENT D**

6. The applicant shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).
7. The applicant shall comply with requirements of all other agencies of jurisdiction.
8. The applicant shall provide the City with proof of payment receipts for Winters Joint Unified School District mitigation and Yolo County facilities and services authorization fees at building permit issuance.
9. The applicant shall report to the City building materials diverted from land filling during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
10. A Subdivision Improvement and Maintenance Agreement shall be entered into and recorded prior to construction of improvements and/or issuance of any building permits.
11. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances temporary roads may be allowed, but must be approved by the City of Winters City Engineer and Fire Department
12. A tentative map (Final or Parcel) shall be processed and shall be recorded prior to issuance of a Building Permit. The Developer shall provide, to the City Engineer, one recorded Mylar copy and four print copies of the final map from the County, prior to issuance of the first building permit.
13. Final inspection for the buildings shall not be scheduled nor occupancy authorized until the public improvements (sewer laterals, sewer cleanouts, water laterals, water meters, driveway aprons on Grant Avenue, fire hydrants installation, etc.) have been installed, inspected, and accepted by the City. Other infrastructure necessary for the project such as paving, striping of parking spaces outside of the buildings, construction of an on-site flood control facility, landscaping, etc. shall be completed prior to final inspection of the buildings.
14. The payment of City of Winters' monthly utility billing charges shall commence after the buildings have passed final inspection. The applicant shall pay the City of Winters monthly utility charges at the metered rate for water and sewer.
15. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City

and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners

**DATE:** December 10, 2019

**FROM:** David Dowswell, Contract Planner 

**SUBJECT:** LDS Subdivision – Public Hearing for consideration by the Winters Planning Commission of Site Plan/Design Review 2019-03 for the model homes for the eighteen (18) lot LDS Subdivision

---

**RECOMMENDATION:** Staff recommends the Planning Commission:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve design/site plan review for the model homes for the LDS Subdivision.

**GENERAL PLAN LAND USE DESIGNATION:** The General Plan land use designation for the site is Low Density Residential (LR).

**SURROUNDING LAND USES, ZONING, AND SETTING:** The surrounding land uses and zoning are as follows:

North: Elementary School – Public Quasi Public (PQP)  
South: Church and Single Family – Single Family Residential (R-1)  
East: Elementary School – Public Quasi Public (PQP)  
West: Single Family – Single Family Residential (R-1)

**BACKGROUND:** On October 3, 2019 the Design Review Committee (DRC) met to review the proposed tentative map. At the meeting Crowne Communities (applicants) presented preliminary floor plans and elevations for homes ranging in size from 1,457 to 1,844 square feet. They indicated the homes would be simpler in design (Attachment B) than their current product being built in the Heartland development. They also indicated due to the property's unusual shape and their plan to build all single-story homes they would

need to create lots which were substandard in size with non-conforming setbacks. The DRC was receptive to the idea of building more affordable smaller homes and recognized the need for smaller lots with reduced setbacks due to the unusual shape of the property.

On November 12, 2019 the Planning Commission met to review the proposed subdivision. At the hearing the Commission considered the proposed subdivision, planned development (PD) zoning overlay and the design of the model homes. At the conclusion of the hearing the Commission recommended the City Council approve the proposed subdivision and amending of the official zoning map to add the PD overlay zoning to the existing R-1 zoning. The Commission continued the site plan/design review approval to the December 10 meeting and directed the applicants to work with staff to address staff's design concerns.

On November 20, 2019 staff met by phone tele-conference with the applicants and their architect to discuss staff's concerns with the design of the proposed homes and possible solutions. On November 21 the applicants submitted revised drawings based on the discussion held on November 20.

**PROJECT DESCRIPTION:** The applicants, on behalf of the Church of Christ Latter Day Saints (LDS), are requesting approval site plan/design review approval of three (3) model homes with nine (9) elevations, (3) elevations for each model. A fourth model is planned for Lot 18. No plans have been submitted for this model.

The model homes are almost somewhat similar in design (Attachment A). Since the November 12 meeting the applicants' architect made several changes to the elevations, they include:

1. Adding hip and clip roofs to three elevations,
2. Adding hip roofs to the two corner lots (Lot 1 and 15),
3. Adding shutters to the side elevations of the two corner lots,
4. Adding a stone veneer to three elevations,
5. Agreeing to two different styles of garage doors with windows in the top of the garage doors.
6. Agreeing to trimming out all of the windows and doors, except the garage doors, the same on all four elevations of each model.

**ANALYSIS:** The applicants believe the proposed subdivision with 18 lots, subject to obtaining approval from the City Council of the tentative map and the PD Overlay Zoning and site plan/design review from the Planning Commission, will allow them to build single-story single-family homes which will be more affordable to persons/families looking to buy their first homes.

The Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects (guidelines) for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

In the November 12, 2019 staff report staff recommended the following design changes:

- Add wainscoting on at least three (3) elevations carried around to the side yard fencing. **Applicants have a stone veneer wainscoting three (3) elevations (1B, 2A and 3B). The wainscoting needs to be wrapped around to the side yard fence and to the entry door.**
- Different roof styles (hip, Dutch or California gable) on six (6) of the elevations, and different roof pitches on three (3) elevations. **Applicants have added hip or clipped roofs to three (3) elevations (1A, 2B and 3B) no roof pitches were changed. Staff recommends providing further design diversity by changing the roof pitch to 5 and 12 on three (3) elevations (1C, 2C and 3A).**
- Where board and batten siding is shown on the front elevation add the same treatment to the those roofs with gable ends. **With the changes mentioned above staff believes this change is no longer needed.**
- Provide at least two (2) different designs for the garage doors. For energy efficiency the garage doors should have windows across the top to allow natural light into the garage. **Applicants have agreed to both of these changes.**
- On Plans 1 and 2 the windows staff recommends on at least two (2) of the front elevations have windows with different sizes. **Staff recommends on Plan 3 all elevations increase the width to five (5) feet the window in bedroom #4.**
- Add trim around all the windows and doors, including the garage door. **Applicants have agreed to trim, per the Commission's suggestion, all windows and doors with the same trim except for the garage door which will have no trim.**
- The homes on Lots 1 and 15 have side elevations facing a street which are completely flat and lack any detailing. **Applicants created a Plan 1D with hip roofs and shutters as enhancements.**
- The applicants have not yet submitted plans for the home proposed for Lot 18. **Applicants will need to provide staff with plans prior to submitting plans to the Building Department. Design should be similar to the three (3) models.**

The applicants have not included landscaping or fencing plans. They will need to provide plans for each for staff's approval prior to issuance of any building permits. Fencing will need to be solid wood with metal posts.

Staff has amended the conditions of approval to include the additional changes mentioned above.

**General Plan and Zoning Consistency Findings:**

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential and this designation provides for single-family detached and attached homes. The project will facilitate new single-family residences.
2. The project is consistent with the provisions of the Zoning Ordinance in that it meets of the applicable zoning regulations. The principal uses of the R-1 Zone are single-family homes and duplexes. The project will facilitate new single-family residences.

**ENVIRONMENTAL ASSESSMENT:** Per Section 15332, Class 32 of the CEQA Guidelines, the proposed subdivision is considered an "In-Fill Development Project" and meets all the following:

- (a) The proposed subdivision with 18 lots is consistent with the general plan designation of Low Density Residential (LR), which allows up to 24 lots, and is consistent with all applicable general plan policies as well as with the Single-Family Residential (R-1) zoning.
- (b) The proposed development occurs within the city limits on a project site of 3.17 acres, which is less than five acres permitted for in-fill development.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air or water quality.
- (e) The site is adequately served by all the required utilities, which are located in Anderson Street and can be served by public services.

**PROJECT NOTIFICATION:** A notice advertising for the public hearing on this application was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Winters' Municipal Code and State Planning Law and was published in the Winters Express on 10/31/19 ten days prior to the hearing. At the November 12, 2019 Planning Commission hearing the Commission continued the hearing to December 10, 2019. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 12/5/19.

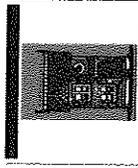
**ALTERNATIVES:** The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

**PLANNING COMMISSION ACTION:** Staff recommends the City of Winters Planning Commission take the following actions:

1. Finds that based on their review the Tentative Map, Planned Development Overlay Rezoning and Site Plan/Design Review (“the project”) are considered categorically exempt from CEQA, Class 32 In-Fill Development Project.
2. Approve Site Plan/Design Review 2019-04 for 18 single-family lots for four (4) models and ten (10) elevations as depicted on the plans submitted and subject to the conditions of approval attached hereto.

**ATTACHMENTS:**

- A. Revised elevations
- B. Conditions of approval



STEVENSON ARCHITECTURE  
 RESIDENTIAL DESIGN  
 1001 W. 10TH ST.  
 LAUREL, CA 94550  
 WWW.STEVENSARCH.COM

PROJECT:

*Coastline*  
 COMMUNITIES

WINTERS-LDS  
 PLAN 1

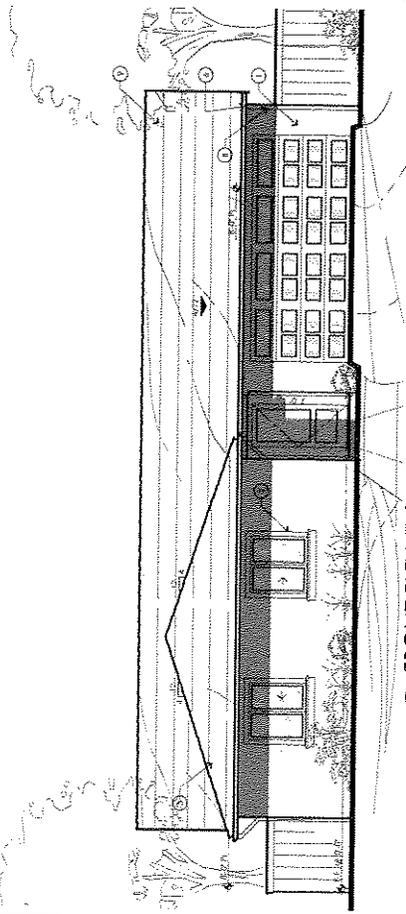
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 SHEET NO. 1 OF 1

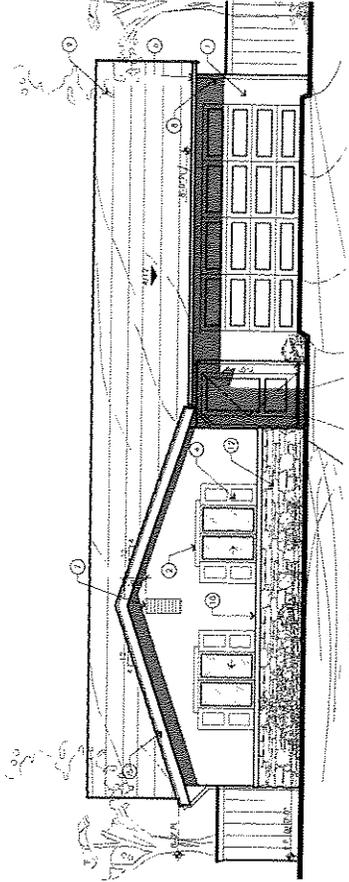
SHEET TITLE  
 FLOOR PLAN  
 ROOF PLAN &  
 ELEVATIONS  
 PLAN 1

DATE: 01/11/2011  
 SCALE: 1/8"=1'-0"  
 SHEET NO. 1 OF 1

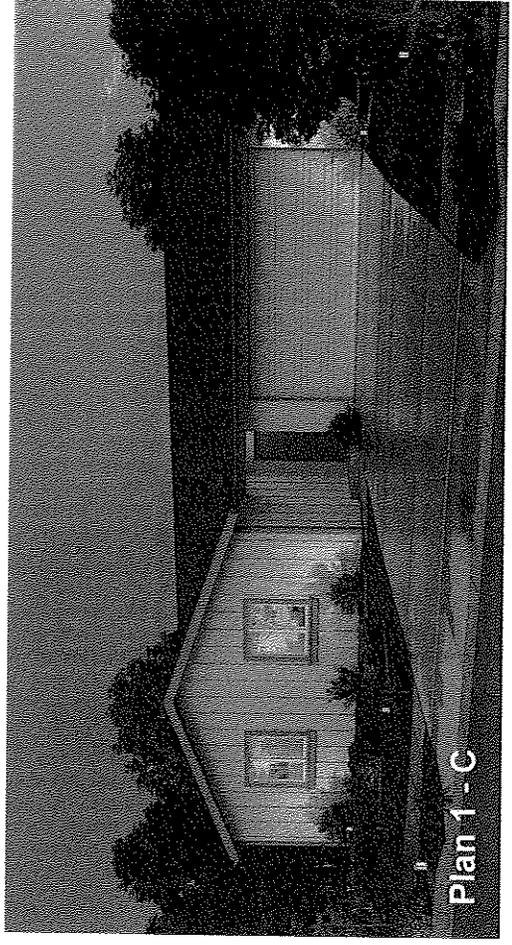
A4.1.1



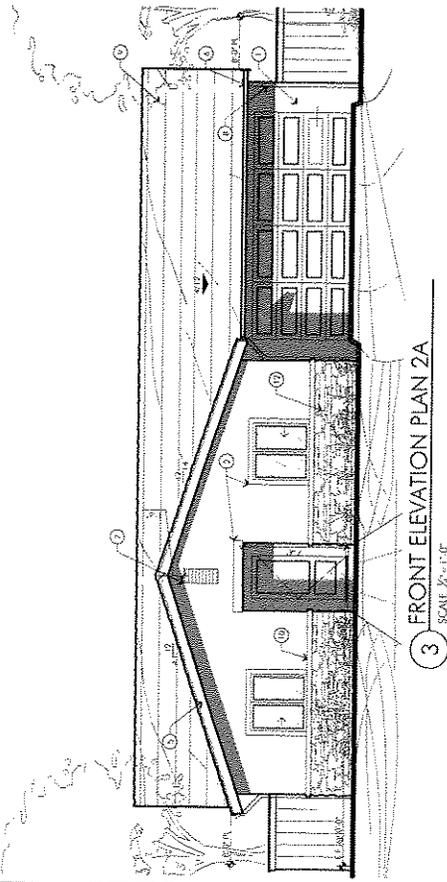
3 FRONT ELEVATION PLAN 1A  
 SCALE: 1/8" = 1'-0"



4 FRONT ELEVATION PLAN 1B  
 SCALE: 1/8" = 1'-0"



Plan 1 - C



NO.	DESCRIPTION
1	FINISH FLOORING THROUGHOUT INTERIOR
2	FINISH WALLS THROUGHOUT INTERIOR
3	FINISH CEILING THROUGHOUT INTERIOR
4	FINISH EXTERIOR WALLS THROUGHOUT
5	FINISH ROOF THROUGHOUT
6	FINISH GARAGE FLOOR THROUGHOUT
7	FINISH GARAGE WALLS THROUGHOUT
8	FINISH GARAGE CEILING THROUGHOUT
9	FINISH PORCH FLOOR THROUGHOUT
10	FINISH PORCH WALLS THROUGHOUT
11	FINISH PORCH CEILING THROUGHOUT
12	FINISH PORCH FLOOR THROUGHOUT

**SEVEN SUBMITTALS**

1. PERMIT DESIGN  
 2. PERMIT CONSTRUCTION  
 3. PERMIT OCCUPANCY  
 4. PERMIT FINISH  
 5. PERMIT INSPECTION  
 6. PERMIT AS-BUILT  
 7. PERMIT CLOSEOUT

PROJECT:

*CRIVELLO*  
**CRIVELLO ARCHITECTURE**

WINTERS-LDS  
 PLAN 2

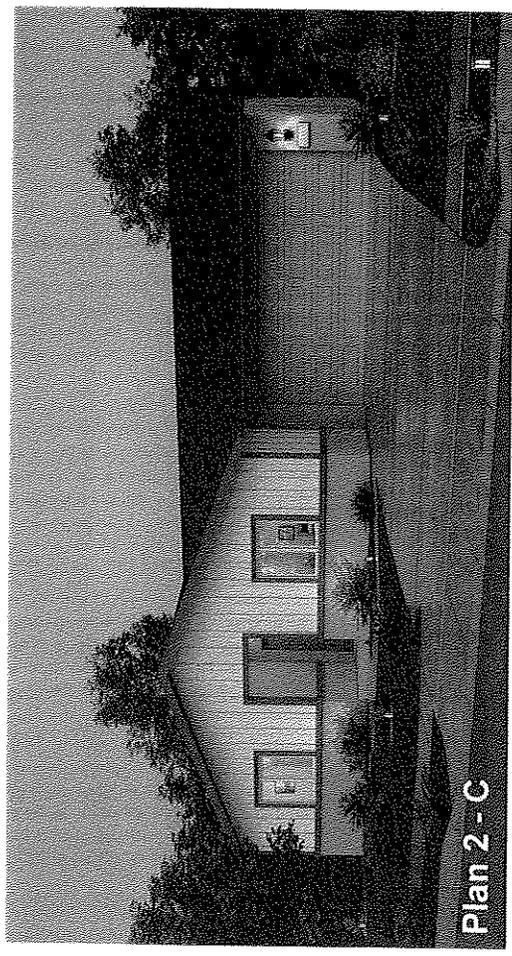
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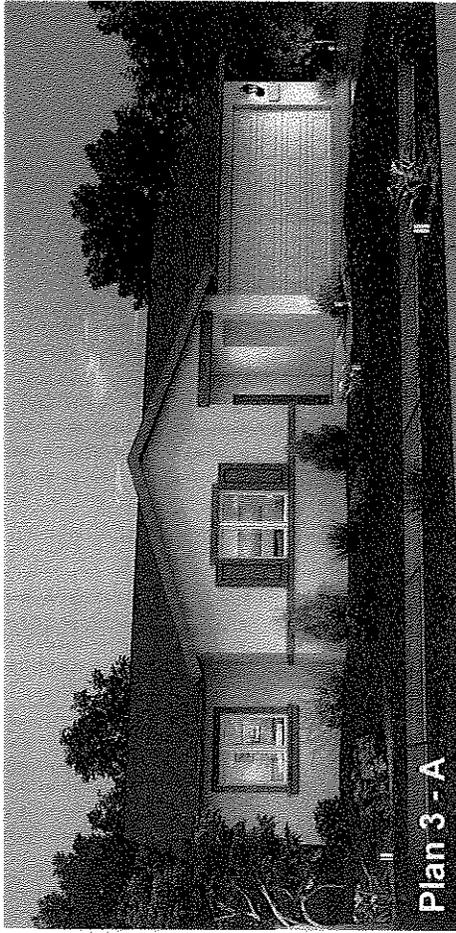
SHRIMP TITLE

FLOOR PLAN  
 ROOF PLAN &  
 ELEVATIONS  
 PLAN 2

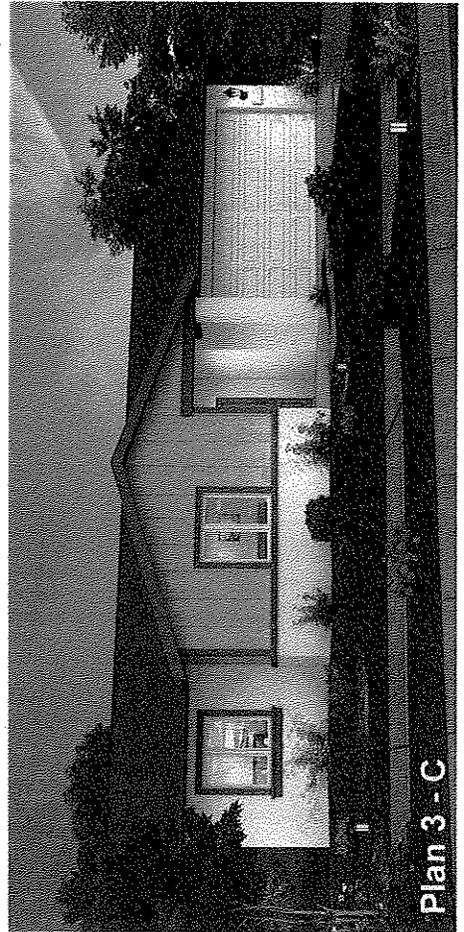
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 SUBMITTAL DATE: October 20, 2023  
 DRAWN BY: JAC  
 SHEET NO.

**A4.1.2**



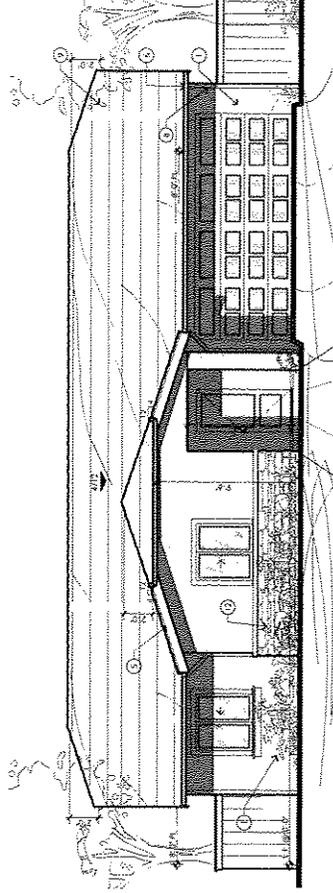


Plan 3 - A



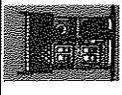
Plan 3 - C

#	DESCRIPTION
1	WOODEN SHOE BOX CLOSET WITH BUILT-IN BENCH
2	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
3	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
4	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
5	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
6	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
7	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
8	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
9	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
10	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
11	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY
12	WOODEN BENCH WITH BUILT-IN CLOSET AND HALLER PANTRY



4 FRONT ELEVATION PLAN 3B

SCALE: 1/4" = 1'-0"



SYSTEMS FOR THE 21ST CENTURY  
 REAL ESTATE DESIGN  
 LAFAYETTE, CA  
 PH: 530-484-8477  
 WWW.HOUSEMARTINS.COM

*Coastal*  
 COMMUNITIES  
 WINTERS-LDS  
 PLAN 3

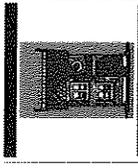
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REVISIONS

SHEET TITLE  
**FLOOR PLAN & ROOF PLAN & ELEVATIONS PLAN 3**

JOB NO.  
 SCALE: AS SHOWN  
 SUBMITTAL DATE: October 18th 2020  
 DRAWN BY: J.L.C.  
 SHEET NO.

**A4.1.3**



STEVEN R. NUTRITIONAL  
RESIDENTIAL DESIGN  
LAFAYETTE, CA  
PH: 925-225-5107  
WWW.NUTRITIONALDESIGN.COM

PROJECT:

*Chicopee*  
PERRITIES

WINTERS-LDS  
PLAN 1

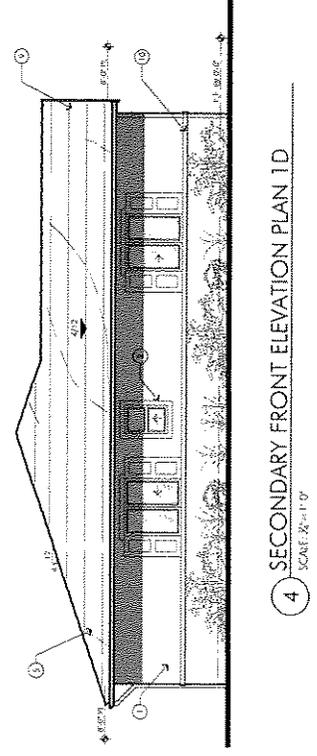
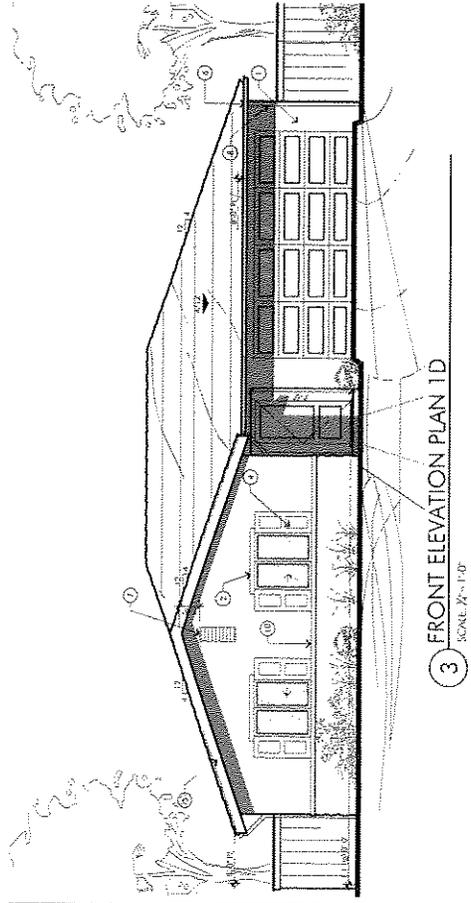
NO.	DATE	DESCRIPTION

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

SHEET TITLE  
**FLOOR PLAN &  
ROOF PLAN &  
ELEVATIONS  
PLAN 1D**

DATE: 01/15/2019  
SCALE: 1/8" = 1'-0"  
SUBMITTER: CHICOPEE PERRITIES  
DRAWN BY: J.P. WILSON  
SHEET NO.

**A4.1.2**



**LDS Subdivision  
Site Plan/Design Review 2019-04**

**CONDITIONS OF APPROVAL  
December 10, 2019**

1. The project is described in the December 10, 2019 Planning Commission staff report. The project shall be constructed as depicted on the exhibits included as Attachment A to the staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (December 19, 2020) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request submitted to the Community Development Director.
3. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicants shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expense in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicants shall defend such action at applicants' sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicants of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicants shall not be required to pay or perform any settlement unless the subdivider in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.
4. Construction activities shall be limited to 7:00 am to 7:00 pm, Monday through Saturday only (holidays excluded) in compliance with the City's Noise Ordinance and Standard Specifications.
5. Foundations shall be poured in place, onsite. No pre-cast foundations will be permitted. This shall be stipulated in all construction contracts.
6. Address numbering shall be plainly visible from public view using lettering that is a minimum of four inches in high with contrasting colors. Naming of streets and address numbering shall be completed by a committee comprised of the Community

Development Department, the Fire District, the Police Department, and the Postal Service.

7. The applicants shall pay all development impact fees, fees required by other entities, and permit fees.
8. The applicants shall be responsible for any additional costs associated with the processing of this project including but not limited to: plan check, inspections, materials testing, construction monitoring, and other staff review and/or oversight including staff time necessary to ensure completion/satisfaction of all conditions of approval and mitigation measures. The applicants shall reimburse the City for all such costs. Project applicants shall pay all development impact fees adopted by the City Council and shall pay fees required by other entities.
9. The applicants shall provide where possible a ten (10) foot side yard adjacent to the garage.
10. Plan 1 and 2 models located on the court (lots 8-18) shall have a minimum patio setback of 10 feet.
11. Prior to submitting plans to the Building Department the applicants shall revise the drawings as follows:
  - On Plans 1A, 2B and 3B wrap the wainscoting around to the side yard fence and to the entry door.
  - On Plans 1C, 2C and 3A change the roof pitch to 5 and 12.
  - On Plan 3, all elevations, increase the width to five (5) feet the window in bedroom #4.
  - All windows and doors with the same trim except for the garage door which will have no trim.
  - Provide staff with plans for the home on Lot 18. Design should be similar to the three (3) models.
12. Prior to issuance of a building permit the applicant shall submit for approval by the Community Development Department the following:
  - a. Front yard landscaping plan, including irrigation. Plan shall include one (1) 15-gallon tree per lot taken from the approved street tree list.
  - b. Fencing plan. Fencing shall be designed as a "good neighbor" solid wood fence using steel posts, faced with wood, to reduce long-term maintenance costs.
13. The applicants/owner shall pay all applicable impact fees and charges at the rate and amount in effect at the time such fees and charges become due and payable.

14. The applicants shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).
15. The applicants shall comply with requirements of all other agencies of jurisdiction.
16. The applicants shall provide the City with proof of payment receipts for Winters Joint Unified School District mitigation and Yolo County facilities and services authorization fees at building permit issuance.
17. The applicants shall report to the City building materials diverted from land filling during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
18. A Subdivision Improvement and Maintenance Agreement shall be entered into and recorded prior to construction of improvements and/or issuance of any building permits.
19. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances temporary roads may be allowed, but must be approved by the City of Winters City Engineer and Fire Department.
20. A tentative map (final or parcel) shall be processed and shall be recorded prior to issuance of a Building Permit. The Developer shall provide, to the City Engineer, one recorded Mylar copy and four print copies of the final map from the County, prior to issuance of the first building permit.
21. Final inspection for the buildings shall not be scheduled nor occupancy authorized until the public improvements (sewer laterals, sewer cleanouts, water laterals, water meters, driveway aprons on Grant Avenue, fire hydrants installation, etc.) have been installed, inspected, and accepted by the City. Other infrastructure necessary for the project such as paving, striping of parking spaces outside of the buildings, construction of an on-site flood control facility, landscaping, etc. shall be completed prior to final inspection of the buildings.
22. The payment of City of Winters' monthly utility billing charges shall commence after the buildings have passed final inspection. The applicant shall pay the City of Winters monthly utility charges at the metered rate for water and sewer.
23. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City

and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.