

CITY OF WINTERS REGULAR PLANNING COMMISSION AGENDA

Tuesday, November 12, 2019 @ 6:30 PM
City of Winters Council Chambers
318 First Street
Winters, CA 95694-1923
Community Development Department
Contact Phone Number (530) 794-6714
Email: dave.dowswell@cityofwinters.org

Chairperson: Paul Myer
Vice Chair: Lisa Baker
Commissioners: Dave Adams, Patrick
Riley, Gregory Contreras, Daniel
Schrupp, Ramon Altamirano
City Manager: John W. Donlevy, Jr.
Management Analyst, Dago Fierros
Contract Planner, Dave Dowswell

I CALL TO ORDER

II ROLL CALL & PLEDGE OF ALLEGIANCE

III CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.

IV CONSENT ITEM

A. Minutes of October 22, 2019 meeting of Planning Commission.

V DISCUSSION ITEMS:

A. Public Hearing and Consideration of Site Plan/Design Review for a home for Lot 18, Phase 2 of the Olive Grove Subdivision. The lot is located off Apricot Avenue.

B. Public Hearing and Consideration of by the Planning Commission of the following items:

1. Tentative Map to subdivide a 3.29 acre parcel into eighteen (18) single family lots between 4,400 and 5,200 square feet. The property is located off Anderson Avenue due north of the existing LDS Church (APN 030-220-034); and
2. Adopt an ordinance rezoning the above-mentioned property by adding a Planned Development (PD) Overlay Zone to the existing R-1 Zoning. Adding the PD Zoning will allow reduction to various development standards including front, side and rear yard setbacks, and exceed by .23 percent the allowable lot coverage of fifty (50) percent, and
3. Consideration of Site Plan/Design Review of the four (4) model homes and ten (10) elevations.

VII COMMISSION/STAFF COMMENTS

VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON NOVEMBER 7, 2019


DAVID DOWSWELL, COMMUNITY DEVELOPMENT DEPARTMENT CONTRACT PLANNER

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

GENERAL NOTES: MEETING FACILITIES ARE ACCESSIBLE TO PERSONS WITH DISABILITIES. TO ARRANGE AID OR SERVICES TO MODIFY OR ACCOMMODATE PERSONS WITH A DISABILITY TO PARTICIPATE IN A PUBLIC MEETING, CONTACT THE CITY CLERK.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 22, 2019**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chairman Myer called the meeting to order at 6:30 p.m.

PRESENT: Commissioners Adams, Altamirano, Contreras, Schrupp, Chairman Myer

ABSENT: Commissioner Riley, Vice Chair Baker

STAFF: City Manager John Donlevy, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

Winters Express Reporter, Brandon McCapes led the Pledge of Allegiance.

CITIZEN INPUT: None.

CONSENT ITEM:

- A. Minutes of the September 24, 2019 regular Planning Commission meeting.

Commissioner Contreras moved to approve, Commissioner Altamirano seconded. Motion carried unanimously with two absent.

DISCUSSION ITEMS:

- A. Public Hearing and Consideration of Recommendation by the Planning Commission on the following items:
 - 1. Tentative Map to subdivide a 3.29-acre parcel into eighteen (18) single family lots between 4,400 and 5,200 square feet. The property is located off Anderson Avenue due north of the existing LDS Church (APN 030-220-034); and
 - 2. Adopt an ordinance rezoning the above-mentioned property by adding a Planned Development (PD) Overlay Zone to the existing R-1 Zoning. Adding the PD Zoning will allow reduction to various development standards including front, side and rear yard setbacks and an increase to the allowable lot coverage of fifty (50) percent.

Contract Planner Dave Dowswell gave a brief summary of the project.

Kal Takhar and Kam Takhar of Crowne Communities presented the project and discussed ways to remedy concerns brought forth by staff. Design trade-offs were discussed in order to create a more "affordable" product.

Bryan Bonino of Laugenour & Meikle stated that the turn radius of the knuckle will be increased to 45 feet, in order to meet or exceed City Standards. The cul-de-sac meets City Standards with a radius of 52 feet. No-parking shall be enforced at the end of the cul-de-sac, having minimal impact on neighborhood parking. Emergency vehicles should have no accessibility issues with updated street design. Reconfigured lots that do not meet City Standards will need to be reviewed by Contract Engineer Alan Mitchell.

COMMISSIONER/STAFF COMMENTS:

Commissioner Contreras expressed his concern with emergency vehicle access.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 22, 2019**

Chairman Myer supported the goal of building homes that are less expensive and smaller, more diversified product than what is currently being built in Winters.

A second Public Hearing and Consideration will be tentatively scheduled on November 12, 2019.

COMMISSIONER/STAFF REPORTS

Manager John Donlevy met in Sacramento to discuss Chromium 6 with representatives of the Governor's Office, California Environmental Protection Agency and California State Water Resources Control Board.

ADJOURNMENT: Chairman Myer adjourned the meeting at 8:15 p.m.

ATTEST: _____

Dagoberto Fierros, Management Analyst

Paul Myer, Chairman



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: November 12, 2019
FROM: Dave Dowswell, Contract Planner, Community Development Department
SUBJECT: Public Hearing and Consideration of Design/Site Plan Review 2019-03 for Lot 18 in Phase 2 of the Olive Grove Subdivision.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Design/Site Plan Review for Lot 18 Olive Grove Subdivision Phase 2.

BACKGROUND: On July 18, 2017 the City Council approved the revised twenty-one (21) Lot Olive Grove Subdivision. The subdivision was to be built in two phases; lots 1-5 in Phase 1 and Lots 6-21 in Phase 2.

On June 26, 2018 the Planning Commission approved the design of the five models for the Phase 1 of the Olive Grove Subdivision.

On June 11, 2019 the first building permit was issued for the three homes currently under construction on Hemenway Street.

PROJECT DESCRIPTION: The applicant, Chris Williams, is applying for Design/Site Plan Review for a single-family home Lot 18 located along Apricot Avenue (Phase 2) of the Olive Grove Subdivision.

The home will be two stories, with a two-car garage. The building facade includes: board and batten siding on the front, rear and right elevation, a combination of board and batten siding and horizontal lap siding on the left elevation, and both composition shingles and standing-metal-seam roofing. Windows and doors to be trimmed with wood. The plans do

not indicate what the size of the trim or type of material, size of fascia boards and what material will be used for the horizontal lap siding. No landscaping or fencing plan has been submitted.

DESIGN/SITE PLAN REVIEW: Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects (guidelines) for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

ANALYSIS: The design of the homes in the immediate area is somewhat eclectic. The house to the south, which is a large custom home, has a stucco finish with a tile roof. To the north and east are homes with either horizontal and vertical siding with composition roofs. It is unclear as to why the house is proposed to have two different roof and siding materials, with a combination of both on the lower floor. Staff recommends that if two different roofing materials are used on the upper floor roof be standing-metal-seam and the entire lower floor roof be composition shingles. It is also unclear why the house is proposed to have two different siding materials. Staff recommends the entire house be finished with board and batten siding.

Overall with the proposed design is compatible with the design of the homes in the immediate neighborhood including the three homes currently under construction on Hemenway Street. As mentioned above, the plans do not indicate the size of the wood trim around the windows and doors or the fascia board. Staff recommends the window and door trim and fascia board be a minimum of 2 inches in width.

Landscaping and Fencing - The City requires all new homes to provide front yard landscaping with an irrigation system and perimeter fencing. It is recommended staff be allowed to approve the landscaping and fencing administratively. Fencing shall be designed as a wood "good neighbor" fence. Steel posts shall be used faced with wood to reduce long-term maintenance costs.

Tentative Map – Lot 18 is part of Phase 2 of the Olive Grove Subdivision. The following conditions of approval must be addressed before a building permit can be issued.

1. A Subdivision Improvement and Maintenance Agreement shall be entered into and recorded prior to construction of improvements and/or issuance of any building permits.
2. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances temporary roads may be allowed, but must be approved by the City of Winters City Engineer and Fire Department
3. A tentative map (Final or Parcel) shall be processed and shall be recorded prior to issuance of a Building Permit. The Developer shall provide, to the City Engineer, one recorded Mylar copy and four print copies of the final map from the County, prior to issuance of the first building permit.

PROJECT NOTIFICATION: Two methods of public notice were used: (1) a legal notice was published in the Winters Express on 10/31/19 and (2) notices were mailed to all property owners who own real property within three hundred feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 11/07/19.

ENVIRONMENTAL ASSESSMENT: A Mitigated Negative Declaration and Mitigation Monitoring Plan were adopted by the Winters City Council on 09/02/08 as part of the General Plan amendment and rezone approved by the City Council for the 1.42-acre parcel adjacent to the cemetery.

RECOMMENDED FINDINGS FOR OLIVE GROVE SUBDIVISION PHASE 1 – SITE PLAN/DESIGN REVIEW 2019-03

CEQA Findings:

- 1) The proposed project (design review of a home) is exempt from review under the California Environmental Quality Act (CEQA) Guidelines, Section 15061.

Design Review Findings:

- 1) The proposed project's overall visible massing, which includes height, roofline profiles and overall scale of the building meets the intent of the Winters Design Guidelines.
- 2) The proposed project's use of quality of exterior construction materials is compatible with the general setting of the subject property and visual character of the general neighborhood.
- 3) The proposed project avoids the use of large, blank or unbroken wall planes and architectural detailing such as shadow lines, etc. which generally lack interest.

- 4) The proposed project provides effective use of screening of ground mounted equipment.
- 5) The proposed project provides effective use of landscaping, which provides effective softening of the development.
- 6) The proposed project achieves conformity with the Winters Design Guidelines.

RECOMMENDATION: Staff recommends approval of the Site Plan/Design Review 2019-03 by making an affirmative motion as follows:

I MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION APPROVE DESIGN REVIEW/SITE PLAN 2019-03 FOR THE OLIVE GROVE SUBDIVISION PHASE 2 BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:

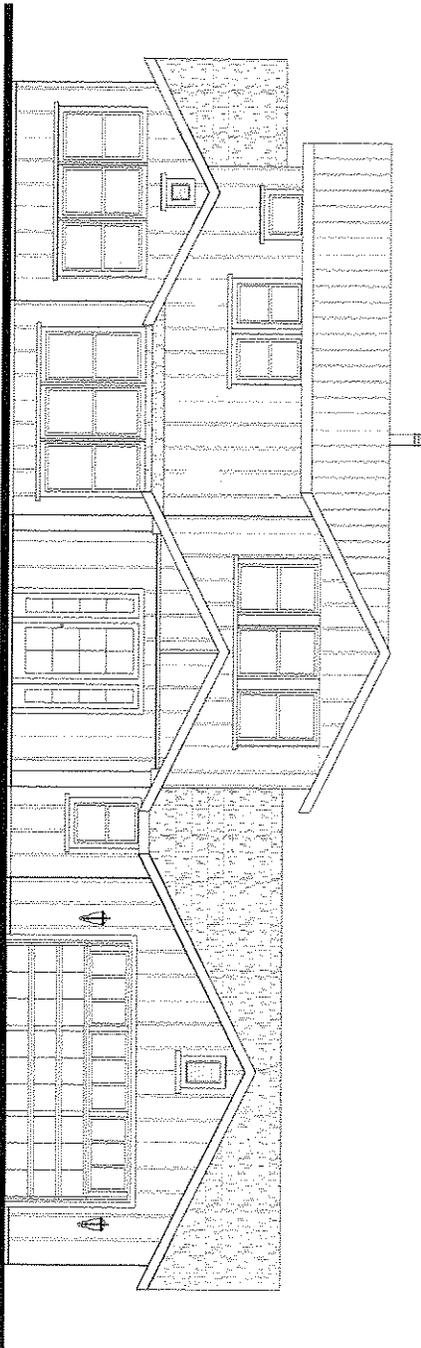
- Confirmation of exemption from the provisions of CEQA.
- Approve Design Review/Site Plan subject to the conditions of approval attached hereto.

ATTACHMENTS:

- A. Site Plan and Elevations
- B. Conditions of Approval

OLIVE GROVE LOT 18

740 Apricot Avenue
Winters, CA 95694



GENERAL NOTES

COMPLIANCE: ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA LANDMARK PRESERVATION ACT, AND THE CALIFORNIA HISTORIC PRESERVATION ACT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS AND REVISIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

COORDINATION: THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND PROFESSIONALS INVOLVED IN THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS AND REVISIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS AND REVISIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CONSTRUCTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS AND REVISIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PROJECT DATA

PROJECT ADDRESS: 740 Apricot Avenue
Winters, CA 95694

ASSESSOR PARCEL NUMBER: New single family two story custom home

PROJECT TYPE: R-3

OCCUPANCY: Two

STORYSHIPMENT:

AREA ANALYSIS:

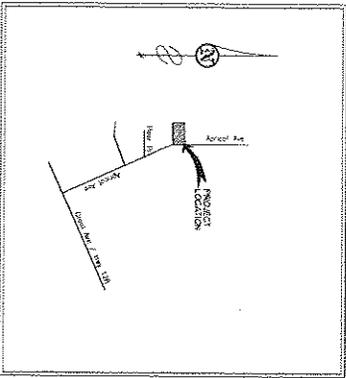
First Level Floor Plan	2,880 sq. ft.
Second Level Floor Plan	1,760 sq. ft.
Total Livable	4,640 sq. ft.
Covered Front Porch	85 sq. ft.
Covered Back Porch	183 sq. ft.
Covered Back Porch (KITCHEN)	18 sq. ft.
Garage	572 sq. ft.

OWNER:

Kathleen
740 Apricot Avenue
Winters, CA 95694

STRUCTURAL ENGINEER:
Chad G.
G2 Structural Engineering Services
(916) 294-4521

SITE LOCATION



SHEET INDEX

DESCRIPTION	SHEET NUMBER
COVER SHEET / SHEET INDEX	A1
ARCHITECTURAL SITE PLAN	A2
ARCHITECTURAL FIRST FLOOR PLAN	A3
ARCHITECTURAL SECOND FLOOR PLAN	A4
ARCHITECTURAL EXTENSION ELEVATIONS	A5
ARCHITECTURAL SECTION	A6
ARCHITECTURAL DETAILS	A7
ELECTRICAL / MECHANICAL ROOF & GORE PLAN	B1
ELECTRICAL / MECHANICAL SECOND FLOOR PLAN	B2
STRUCTURAL FOUNDATION PLAN	C1
STRUCTURAL FLOOR FRAMING PLAN	C2
STRUCTURAL ROOF FRAMING PLAN	C3
STRUCTURAL DETAILS	C4
STRUCTURAL DETAILS	C5
STRUCTURAL DETAILS	C6

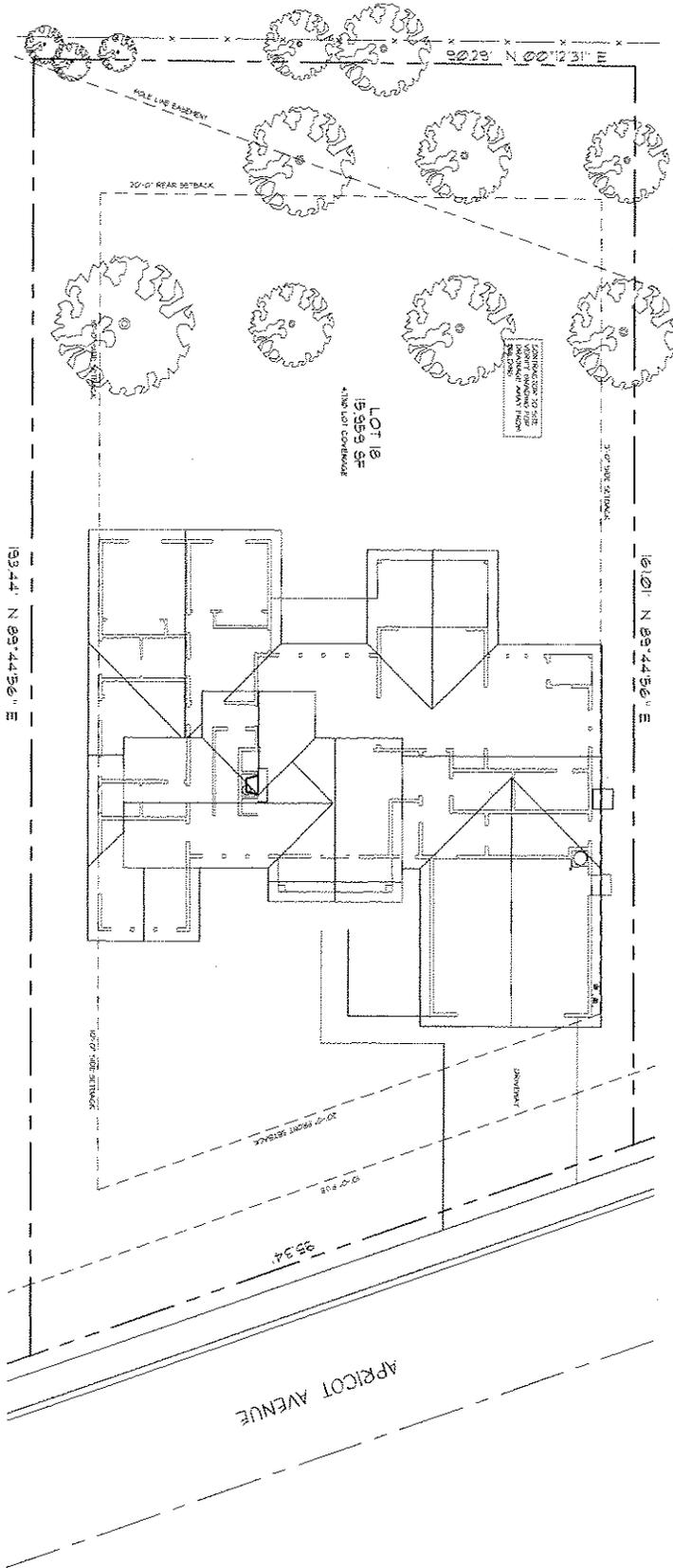
OLIVE GROVE LOT 18

740 Apricot Ave, Winters, CA 95694

Michelle Marie
Structural Engineering
740 Apricot Avenue
Winters, CA 95694
(916) 294-4521

DATE: 09/12/18
SCALE: AS NOTED
SHEET: 18 OF 18

18



THIS IS NOT A SURVEY!

SITE PLAN
SCALE: 1/8" = 1'-0"



- GENERAL NOTES**
1. THIS PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE LAYOUT ONLY.
 2. FINISHED GRADE SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM THE BUILDING PER LOCAL PERMITS.
 3. PROVIDE ADEQUATE SUPPORT AND BRACING DURING CONSTRUCTION.
 4. OWNER TO PROVIDE ALL INFORMATION ABOUT EXISTING UTILITIES AND RECORD DRAWINGS (WATER, SEWER, GAS, ETC.).

Michelle Marie
 RECORDS DESIGN
 2741 West Apricot #117
 WINTERS, CA 95694
 530.832.2242

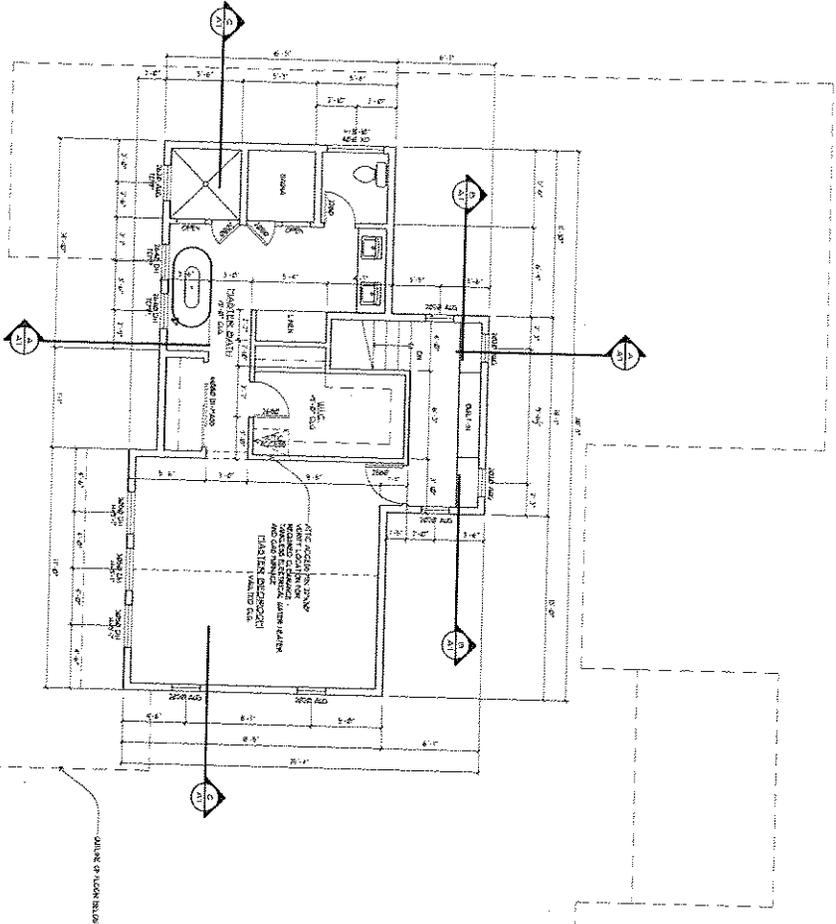
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 SHEET: 1 OF 1

A2

OLIVE GROVE
LOT 18
 740 Apricot Ave, Winters, CA 95694

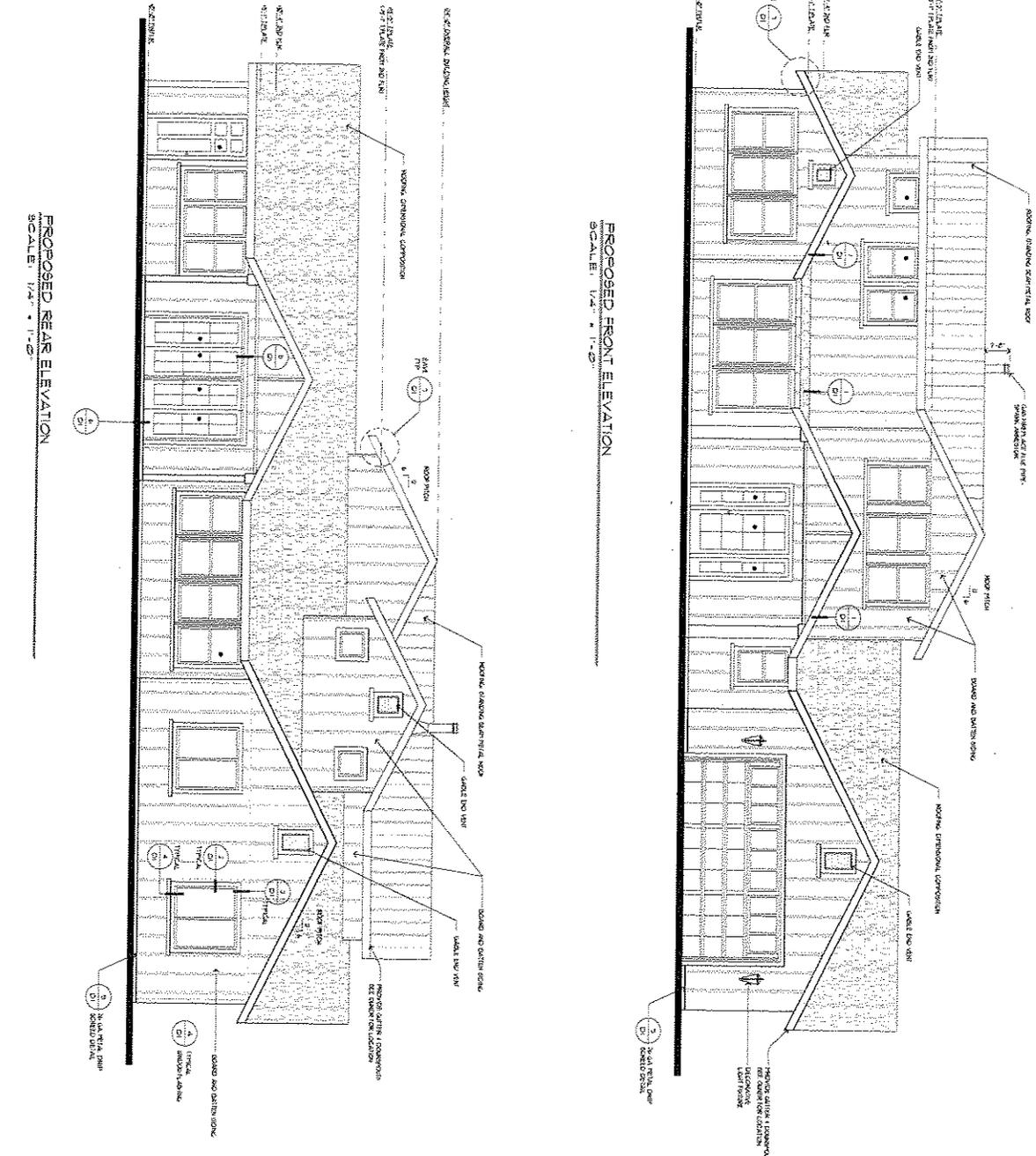
REVISIONS	DATE

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



GENERAL NOTES

1. DO NOT SCALE OFF PLAN.
2. ALL INTERIOR WALLS ARE TO BE 5/8" GYP. BOARD ON 2" X 4" STUDS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS ARE TO BE 8" CMU WITH EXTERIOR FINISH OR ELEVATION.
3. ALL FINISH WALLS TO BE 7/8" GYP. BOARD ON 2" X 4" STUDS UNLESS OTHERWISE NOTED.
4. ALL OPENINGS ARE TO FACE OR BACK UNLESS OTHERWISE NOTED (U.N.).
5. PROVIDE ADEQUATE SUPPORT AND BRACING DURING CONSTRUCTION.
6. INTERIOR FLOOR FINISHES TO BE "AS SHOWN" UNLESS OTHERWISE NOTED.
7. PROVIDE COMPLETE FLASHING AT ALL DOORS.
8. THE FINISH FLOORING OF THE ENTIRE FLOOR SHALL INCLUDE FINISHES ON EXTERIOR TERRACES AND PORCHES. FINISHES TO BE "AS SHOWN" UNLESS OTHERWISE NOTED. ALL FINISHES TO BE "AS SHOWN" UNLESS OTHERWISE NOTED.
9. WATER RESISTANT MEMBRANE AND CEILING INSULATION TO BE "AS SHOWN".
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93. ALL EXTERIOR WALLS SHALL BE "AS SHOWN" UNLESS OTHERWISE NOTED.
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99. ALL EXTERIOR WALLS SHALL BE "AS SHOWN" UNLESS OTHERWISE NOTED.
100. ALL EXTERIOR WALLS SHALL BE "AS SHOWN" UNLESS OTHERWISE NOTED.



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. PROVIDE ADEQUATE SLOPING AND DRAINAGE DURING CONSTRUCTION AND MAINTENANCE.
3. ALL WALLS TO BE FINISHED WITH A FINISH TO BE DETERMINED BY THE ARCHITECT.
4. PROVIDE ADEQUATE DRAINAGE TO THE GRADE AND TO THE STREET.
5. ALL INTERIORS SHALL BE FINISHED WITH A FINISH TO BE DETERMINED BY THE ARCHITECT.
6. PROVIDE ADEQUATE DRAINAGE TO THE GRADE AND TO THE STREET.

ATTIC VENTILATION

NO.	DESCRIPTION	AMOUNT
1	1" x 6" SOLID WOOD RAFTERS	200
2	1" x 6" SOLID WOOD RAFTERS	200
3	1" x 6" SOLID WOOD RAFTERS	200
4	1" x 6" SOLID WOOD RAFTERS	200
5	1" x 6" SOLID WOOD RAFTERS	200
6	1" x 6" SOLID WOOD RAFTERS	200
7	1" x 6" SOLID WOOD RAFTERS	200
8	1" x 6" SOLID WOOD RAFTERS	200
9	1" x 6" SOLID WOOD RAFTERS	200
10	1" x 6" SOLID WOOD RAFTERS	200

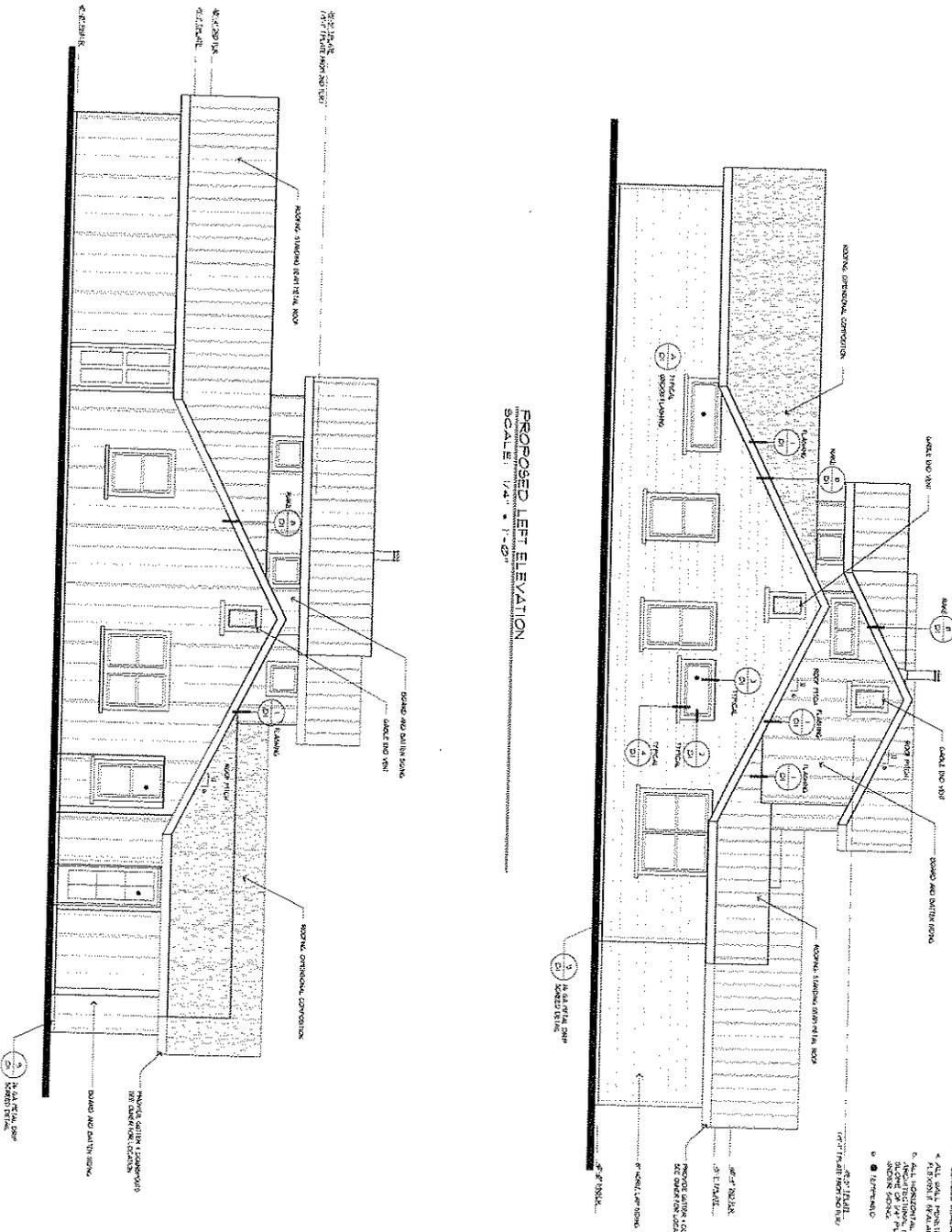
Michelle Marie

2018 03-17-18
 304C AS NOTED
 SCALE: 1/4" = 1'-0"

45
 3/18/18

OLIVE GROVE
 LOT 18
 740 Apricot Ave. Winters, CA 95694

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CONSTRUCTION TO MATCH EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
2. PROVIDE APPROPRIATE DRAINAGE AND FLASHING DETAILS AT ALL ROOF PENETRATIONS AND CORNERS.
3. ALL WALLS TO BE CALKED WITH A QUALITY POLYURETHANE SEALANT.
4. ALL ROOF FLASHINGS TO BE CALKED WITH A QUALITY POLYURETHANE SEALANT.
5. ALL EXTERIOR FINISHES TO BE MATCHED TO EXISTING UNLESS NOTED OTHERWISE.
6. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
7. ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

OLIVE GROVE
LOT 18

740 Apricot Ave, Winters, CA 95694

Michelle
Marie
Architectural Design
1717 2nd St. Winters, CA 95694
916-232-2842

DATE: 03-12-19
SCALE AS NOTED
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: [Signature]

46

NO.	DESCRIPTION	DATE

Design Review 2019-03 Lot 18 Phase 2,
Olive Grove Subdivision

CONDITIONS OF APPROVAL
November 12, 2019

1. The project is described in the November 12, 2019 Planning Commission staff report. The project shall be constructed as depicted on the exhibits included as Attachment A to the staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (November 22, 2020) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request submitted to the Community Development Director.
3. Prior to submitting plans to the Building Division the applicant shall revise the drawings as follows:
 - a. The upper floor roof shall be standing-metal-seam and the entire lower floor roof be composition shingles.
 - b. The entire house be finished with board and batten siding.
 - c. The window, door and fascia trim shall be a minimum width of two (2) inches.
 - d. Indicate what the board and batten material will be.
4. Prior to issuance of a building permit the applicant shall submit for approval by the Community Development Department the following:
 - a. Front yard landscaping plan, including irrigation. Plan shall include one (1) 15-gallon tree per lot.
 - b. Fencing plan. Fencing shall be designed as a "good neighbor" fence using steel posts faced with wood to reduce long-term maintenance costs.
5. The applicant/owner shall pay all applicable impact fees and charges at the rate and amount in effect at the time such fees and charges become due and payable.
6. The applicant shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).
7. The applicant shall comply with requirements of all other agencies of jurisdiction.

8. The applicant shall provide the City with proof of payment receipts for Winters Joint Unified School District mitigation and Yolo County facilities and services authorization fees at building permit issuance.
9. The applicant shall report to the City building materials diverted from land filling during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
10. A Subdivision Improvement and Maintenance Agreement shall be entered into and recorded prior to construction of improvements and/or issuance of any building permits.
11. Roads must be constructed and paved prior to issuance of any building permit. Under specific circumstances temporary roads may be allowed, but must be approved by the City of Winters City Engineer and Fire Department
12. A tentative map (Final or Parcel) shall be processed and shall be recorded prior to issuance of a Building Permit. The Developer shall provide, to the City Engineer, one recorded Mylar copy and four print copies of the final map from the County, prior to issuance of the first building permit.
13. Final inspection for the buildings shall not be scheduled nor occupancy authorized until the public improvements (sewer laterals, sewer cleanouts, water laterals, water meters, driveway aprons on Grant Avenue, fire hydrants installation, etc.) have been have been installed, inspected, and accepted by the City. Other infrastructure necessary for the project such as paving, striping of parking spaces outside of the buildings, construction of an on-site flood control facility, landscaping, etc. shall be completed prior to final inspection of the buildings.
14. The payment of City of Winters' monthly utility billing charges shall commence after the buildings have passed final inspection. The applicant shall pay the City of Winters monthly utility charges at the metered rate for water and sewer.
15. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of

Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: November 12, 2019
FROM: David Dowswell, Contract Planner 
SUBJECT: LDS Subdivision – Public Hearing for consideration by the Winters Planning Commission of the proposed Tentative Map for the eighteen (18) lot LDS Subdivision and Planned Development Overlay Zone

RECOMMENDATION: Staff recommends the Planning Commission:

- 1) Receive a staff report on a proposed LDS Tentative Map and Site Plan/Design Review; and
- 2) Conduct a Public Hearing to consider comments on proposed LDS Tentative Map and Site Plan/Design Review; and
- 3) Find per Section 15332, Class 32 of the CEQA Guidelines that the proposed LDS Tentative Map is categorically exempt from CEQA because it meets the criteria for an in-fill development; and
- 4) Recommend that the Winters City Council adopt a resolution approving the Tentative Map for the property commonly known as the LDS Subdivision, and
- 5) Recommend that the Winters City Council adopt Ordinance 2019-05 adding a Planned Development Overlay Zoning to the existing Single-Family Residential (R-1) Zoning permitting several modifications to the R-1 Zoning standards.

BACKGROUND

On October 3, 2019 the Design Review Committee (DRC) met to review the proposed tentative map (Attachment A). At the meeting Crowne Communities (applicants)

presented preliminary floor plans and elevations for homes ranging in size from 1,457 to 1,844 square feet. They indicated the homes would be simpler in design (Attachment D) than their current product being built in the Heartland development. They also indicated due to the property's unusual shape and their plan to build all single-story homes they would need to create lots which were substandard in size with non-conforming setbacks. The DRC was receptive to the idea of building more affordable smaller homes and recognized the need for smaller lots with reduced setbacks due to the unusual shape of the property.

PROJECT DESCRIPTION: The applicants, on behalf of the Church of Christ Latter Day Saints (LDS), are requesting approval to subdivide a 3.29-acre parcel into eighteen (18) single-family lots. The subdivision includes an emergency vehicle access (EVA) through the LDS Church parking lot. The property is located on the west end of Anderson Street and wraps around the existing LDS Church located at 435 Anderson Avenue. The applicants are requesting the property be rezoned to add a Planned Development (PD) Overlay Zone to the existing Single-Family Residential (R-1) Zoning in order to create lots that are substandard in size, have reduced side and rear yard setbacks and exceed the allowable lot coverage (Attachment B). Lastly, the applicants are requesting design review approval of three (3) model homes with nine (9) elevations, (3) elevations for each model. A fourth model is planned for Lot 18. No plans were submitted for this model.

The model homes are almost identical in design (Attachment D). All of 9 of the elevations will have the same gable roof style, will be finished with stucco and will have composition shingled roofs. Two of the front elevations for each model will be trimmed with either shutters or board and batten siding. The two windows on the front elevation will be foam trim stuccoed over. There will be no trim around the front or garage doors. The third elevation will have only window trim. None of the models will have any wainscot. The other three sides of each of the nine (9) elevations will have no trim.

The applicants will be bringing colored elevations to the meeting.

ANALYSIS: The applicants believe the proposed subdivision with 18 lots, subject to obtaining approval for a PD Overlay Zoning and site plan/design review, will allow them to build single-story single-family homes which will be more affordable to persons/families looking to buy their first homes.

Tentative Map

The tentative map includes an EVA accessed through the LDS Church parking lot connecting to the cul-de-sac adjacent to Lot 18. The EVA provides a second way into the subdivision should the entrance to the subdivision off Anderson Street become blocked. The church will need to record an access easement through their parking lot for the EVA. The easement will need to be shown on the final map. The EVA abutting the cul-de-sac will need to be blocked off with removable bollards to prohibit vehicle access. The portion of the EVA abutting the Church parking could be fenced off with an electronically operated gate, similar to what you see for gated communities. The applicants will need to work with the Fire Department in designing a gate that will provide the necessary access. The

design of the gate will need to be approved by staff. Staff recommends on the sides of the EVA abutting Lot 18 a six-foot solid fence be installed beginning 10 feet from the back edge of the sidewalk. On Lot 14 a three-foot fence should be installed beginning at the back of the sidewalk and connecting to the school's chain link fence.

On the east side of the street abutting the LDS Church the applicants, at the city's request, eliminated the sidewalk. Eliminating the sidewalk allowed the depth of Lots 1-6 to be increased by five (5) feet.

The tentative map proposes "no parking" (shown with a red line) on a portion of the cul-de-sac which includes the EVA and a portion of the frontage of Lots 14 and 18. Requiring "no parking" will allow fire trucks to turnaround. The applicants' engineer has shown on the tentative map (Sheet TM-4) even with the "no parking" there will still be on-street parking available in front of Lots 14 and 18.

The fire department and city engineer have reviewed the tentative map and believe the street design at the corner is adequate for fire trucks to maneuver.

Staff supports the design of the tentative map subdivision subject to the conditions of approval.

Design Review

The Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects (guidelines) for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

The applicants stated before they submitted the design drawings (Attachment C) they planned on building all single-story homes with no architectural style or trim in order to create homes which will be more affordable to first time home buyers. They believe having homes of similar design with very little trim will help lower costs, making them more affordable. They are asking the commission to waive much of what the City's design review guidelines mentioned above to achieve their goal of more affordable housing. Staff

supports the idea of having smaller more affordable homes. Staff, however, does not support designing homes with no architectural style with little or no trim. (It should be noted that whatever design the planning commission approves for these homes, there is no way the City can require the homes be sold at a lower cost. The applicants will have the right to sell these homes for whatever price they choose.)

Staff recommends the applicants be directed to redesign the homes to include at a minimum:

- Wainscoting on at least three (3) elevations carried around to the side yard fencing,
- Different roof styles (hip, Dutch or California gable) on six (6) of the elevations, and different roof pitches on three (3) elevations,
- Where board and batten siding is shown on the front elevation add the same treatment to the those roofs with gable ends,
- Provide at least two (2) different designs for the garage doors. For energy efficiency the garage doors should have windows across the top to allow natural light into the garage,
- On Plans 1 and 2 the windows staff recommends on at least two (2) of the front elevations have windows with different sizes.
- Add trim around all of the windows and doors, including the garage door.

The two homes on Lots 1 and 15 are on corners where a side elevation will be facing a street. None of the elevations for the Plan 1 and 2 models have any windows on the side that will face the street and are completely flat. The applicants will need to greatly enhance the side elevations. Popping out a section of the side elevations on these two lots will help break up the flatness, adding windows and trim will help further to enhance the side elevations.

The applicants have not included landscaping or fencing plans. They will need to provide plans for each for staff's approval for any building permits are issued. Fencing will need to be solid wood with metal posts.

The commission should advise the applicants which of above-mentioned recommendations should be addressed before the commission formally approves the design of the proposed homes. The commission may want to continue approval of the design review until the December 10 planning commission meeting. Should the commission decide to approve the Site Plan/Design Review staff will add to the conditions of approval those recommendation approved by the commission.

Planned Development Zoning

Section 17.48.010 of the Municipal Code (Zoning Ordinance) states, "In order to achieve the general plan goal "to promote the development of a cohesive and aesthetically pleasing urban structure for Winters," the P-D overlay zone has been included within the scope of the zoning ordinance to allow for the maximum flexibility consistent with the minimum development standards within each underlying zone category."

The decision by the City to approve lots of varying sizes as part of the Winters Ranch and Stones Throw subdivisions was done to provide housing diversity and indirectly, based on the smaller lot sizes and reduced setbacks, more affordable housing. The applicants are requesting approval to create lots as small as 4,428 square feet, which is less than the required 6,000 square feet for interior lots and 7,000 square feet for corner lots due to the irregular shape of the property and to achieve their objective to provide smaller and more affordable homes. The applicants are also requesting a reduction to the side and rear yard setbacks. They are requesting the garage side yard setback be reduced from ten (10) to five (5) feet for all 18 lots. On three lots (1, 15 and 18) the "other side" side yard setback will be more than ten (10) feet. Reducing the side yard setback from ten (10) to five (5) feet on the garage side will eliminate the possibility of the homeowner in the future paving the side yard to park another vehicle off-street. Staff recommends, where possible, the applicants provide a ten (10) foot side yard adjacent to the garage.

The applicants are also requesting approval to reduce the required 25-foot rear yard setback to as little as 12 feet (Lot 18). On most of the lots the rear yard setback would 14 or 17 feet. When the planning commission approved the design of the homes for the Heartland and Stones Throw subdivisions included with the approvals was a reduction in the rear yard setback to allow for future trellis or patio covers. The applicants submitted plot plans showing a typical patio cover in which they are requesting a minimum of a five (5) foot rear yard setback (Attachment D). For the Plan 1 lots that will be located on the court they show a 400 square patio cover with a ten (10) foot rear yard setback. Staff believes allowing a four hundred square foot patio cover is excessive for a subdivision where all of the lots do not meet the minimum lot sizes or setbacks. Staff recommends on lots with a Plan 1 home located on the court the minimum rear yard setback for a patio cover should be 14 feet.

PROJECT NOTIFICATION: A notice advertising for the public hearing on this application was prepared by the Community Development Department in accordance with notification procedures set forth in the City of Winters' Municipal Code and State Planning Law and was published in the Winters Express on 10/31/19 ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 11/7/19.

ENVIRONMENTAL ASSESSMENT: Per Section 15332, Class 32 of the CEQA Guidelines, the proposed subdivision is considered and "In-Fill Development Project" and meets all the following:

- (a) The proposed subdivision with 18 lots is consistent with the general plan designation of Low Density Residential (LR), which allows up to 24 lots, and is consistent with all applicable general plan policies as well as with the Single-Family Residential (R-1) zoning.
- (b) The proposed development occurs within the city limits on a project site of 3.17 acres, which is less than five acres permitted for in-fill development.
- (c) The project site has no value as habitat for endangered, rare or threatened species.

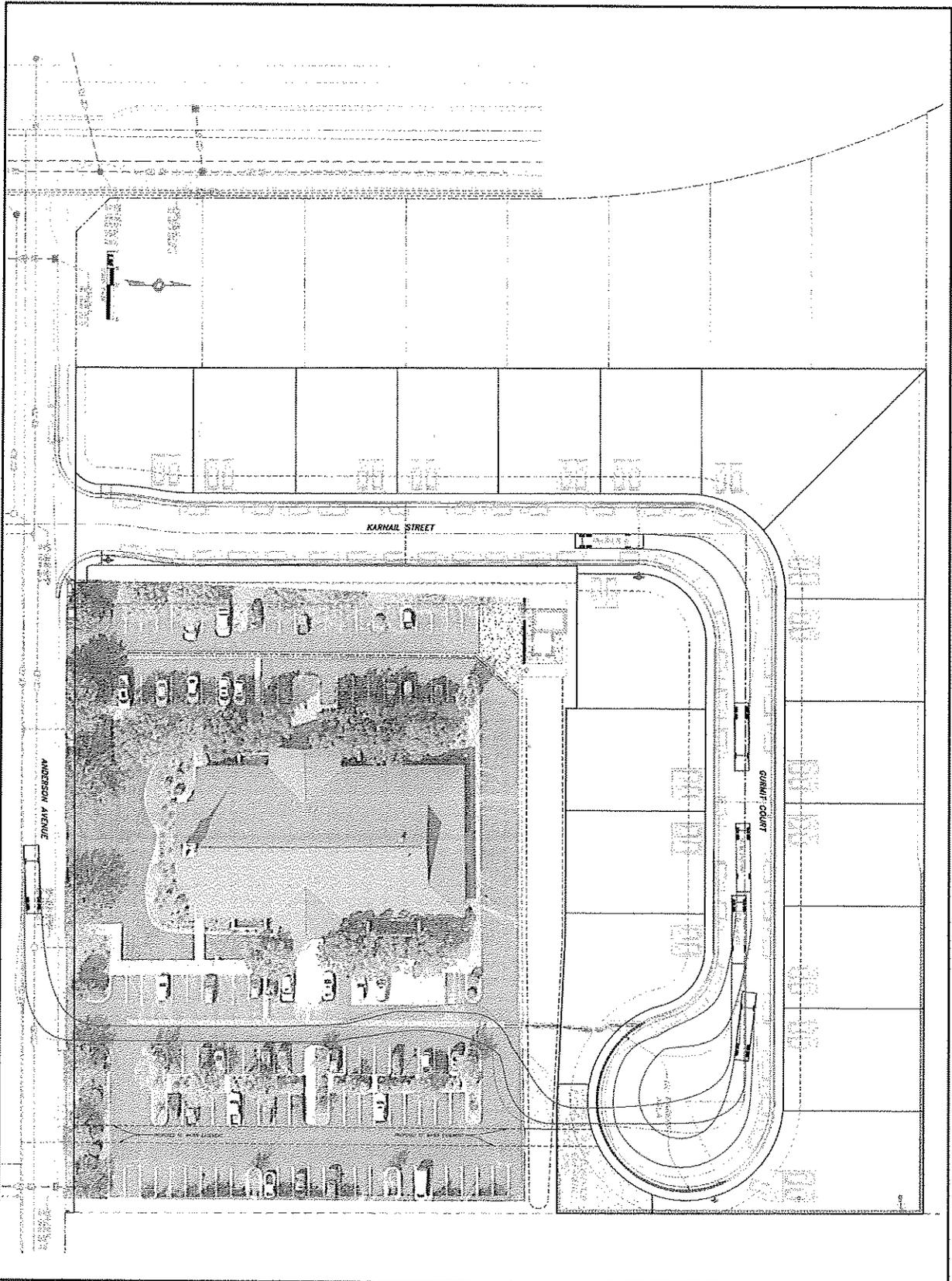
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air or water quality.
- (e) The site is adequately served by all the required utilities, which are located in Anderson Street and can be served by public services.

PLANNING COMMISSION ACTION: Staff recommends the City of Winters Planning Commission make take the following actions:

1. The planning commission finds that based on their review the Tentative Map ("the project") is considered categorically exempt from CEQA, Class 32 In-Fill Development Project.
2. The planning commission has considered comments received on the project during the public review process.
3. The decision not to prepare a subsequent environmental document reflects the independent judgment and analysis of the City of Winters.
4. Approve Site Plan/Design Review 2019-04 for 18 single-family lots for four (4) models and ten (10) elevations.
5. Adopt Resolution 19-01 recommending (Attachment G) the City Council approve the tentative map for an eighteen (18) lot subdivision known as the LDS Subdivision subject to the Conditions of Approval (Attachment F).
6. Recommend the City Council adopt Ordinance 2019-05 amending the official Zoning Map of the City of Winters by adding a Planned Development Overlay zoning classification to the existing Single-Family Residential R-1 Zoning (Attachment H).

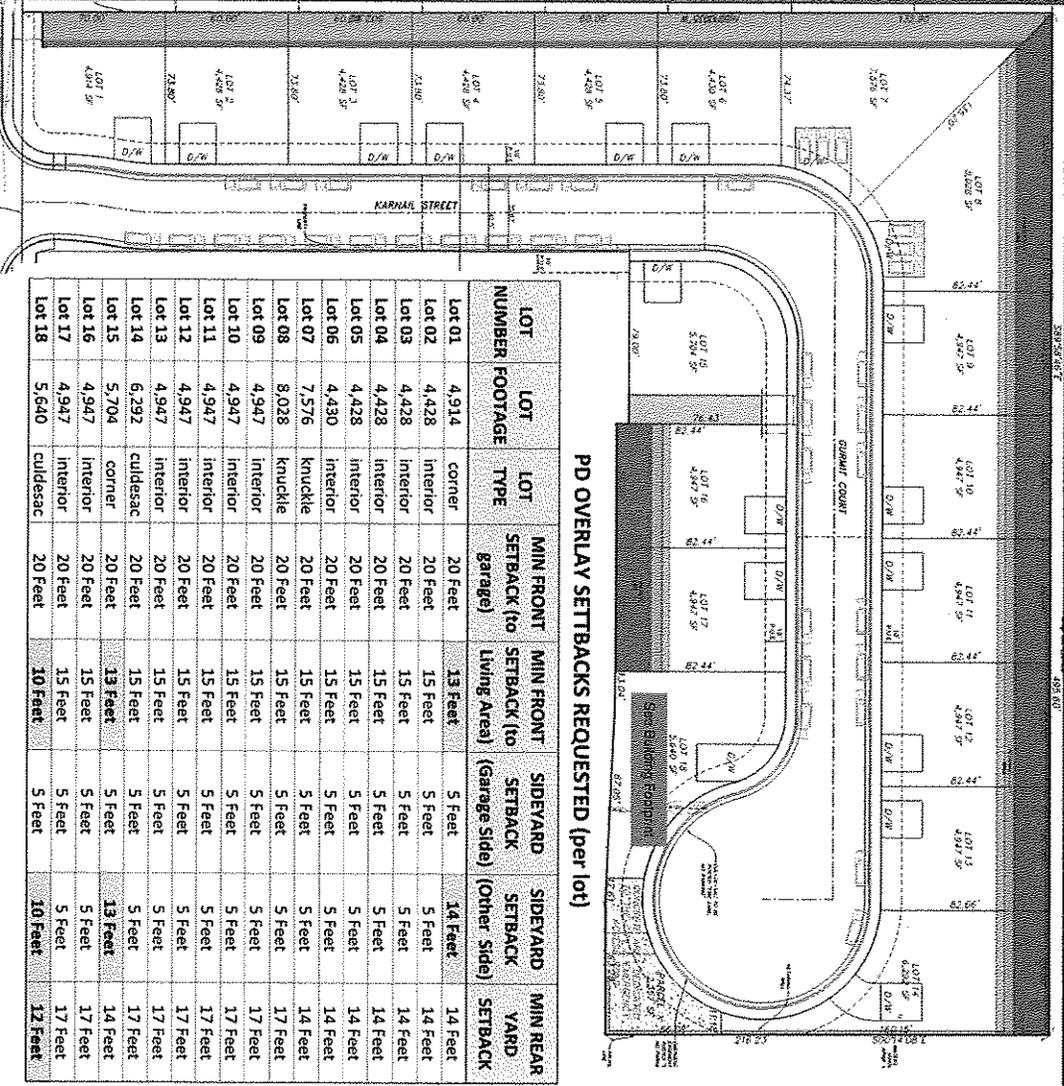
ATTACHMENTS:

- A. Tentative map
- B. Proposed R-1 Zoning standards modifications for homes
- C. Floor plans and elevations
- D. Proposed R-1 Zoning standards modifications for patio covers
- E. Conditions of approval
- F. Planning Commission Resolution 2019-01 approving tentative map
- G. City Council Ordinance 2019-05 amending the official zoning map by adding a Planned Development Overlay Zone to the existing R-1 Zoning



SHEET 4 OF 4 TM-4	VEHICLE TURNING MOVEMENTS TENTATIVE SUBDIVISION MAP NO. 5179 SHANDALA ESTATES	LAUGENOUR AND MEIKLE CIVIL ENGINEERS 1000 WEST 10TH AVENUE DENVER, COLORADO 80202 PHONE: 333-1111 FAX: 333-1112	U.S. MAP NO. _____ DATE _____ DESCRIPTION _____ BY _____
	DRAWN BY _____ CHECKED BY _____ DATE _____	U.S. MAP NO. _____ DATE _____ DESCRIPTION _____ BY _____	

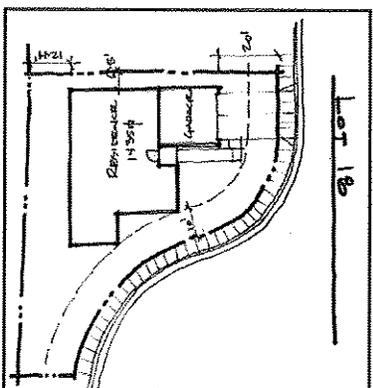
PD Overlay Request ----- Parameters



PD OVERLAY SETBACKS REQUESTED (per lot)

LOT NUMBER	LOT FOOTAGE	LOT TYPE	MIN FRONT SETBACK (to garage)	MIN FRONT SETBACK (to Living Area)	SIDEYARD SETBACK (Garage Side)	SIDEYARD SETBACK (Other Side)	MIN REAR YARD SETBACK
Lot 01	4,914	corner	20 Feet	13 Feet	5 Feet	14 Feet	14 Feet
Lot 02	4,428	interior	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 03	4,428	interior	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 04	4,428	interior	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 05	4,428	interior	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 06	4,430	interior	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 07	7,576	knuckle	20 Feet	15 Feet	5 Feet	5 Feet	14 Feet
Lot 08	8,028	knuckle	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 09	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 10	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 11	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 12	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 13	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 14	6,292	culdesac	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 15	5,704	corner	20 Feet	13 Feet	5 Feet	13 Feet	14 Feet
Lot 16	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 17	4,947	interior	20 Feet	15 Feet	5 Feet	5 Feet	17 Feet
Lot 18	5,640	culdesac	20 Feet	10 Feet	5 Feet	10 Feet	12 Feet

- Karnar St Lots**
 - 14 Ft Rear Yard (Plan 2)
 - 17 Ft Rear Yard (Plan 1)
- Gurmit Ct Lots**
 - 17 Ft Rear Yard (Plan 2)
 - 22 Ft Rear Yard (Plan 2)
 - 26 Ft Rear Yard (Plan 1)
- Lot 15**
 - 14 Ft Rear Yard (Plan 1)

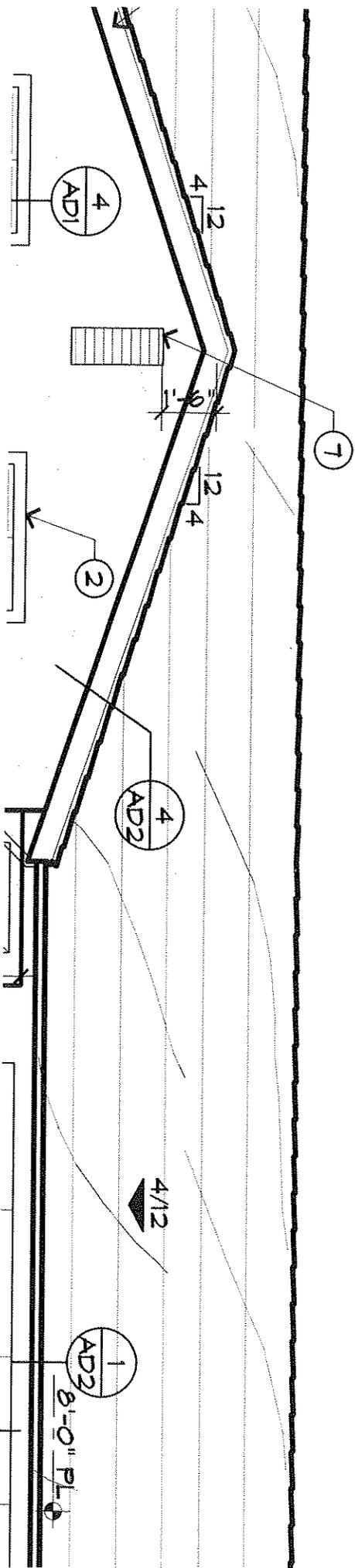


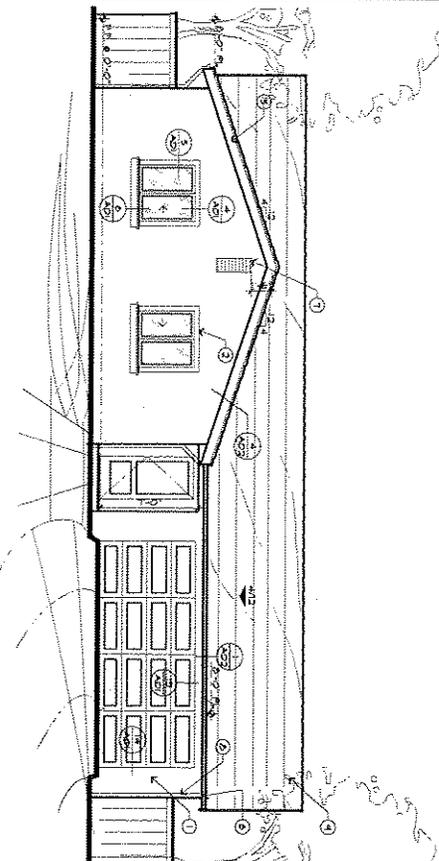
Lot coverage not to exceed 50%



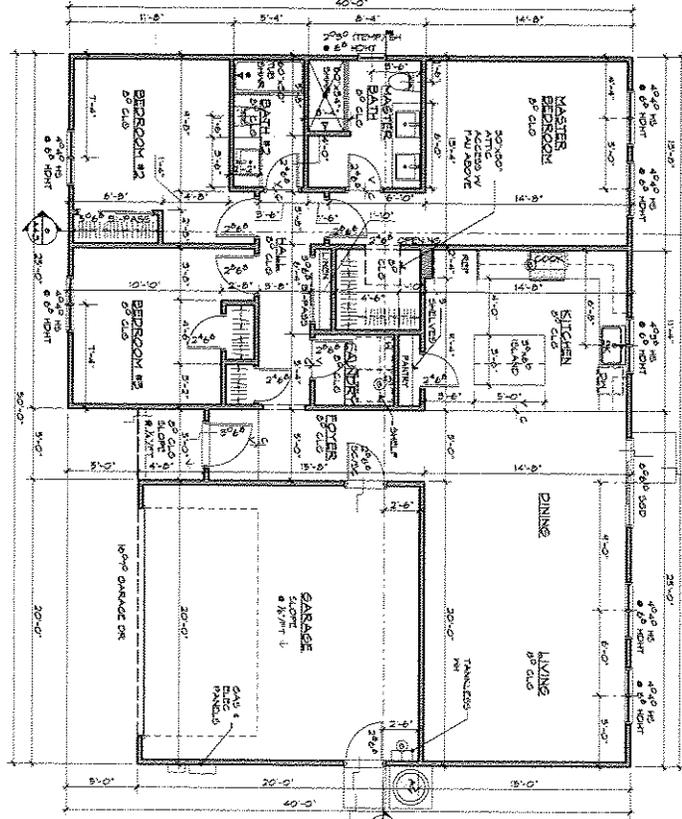
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1	STUCCO- OMEGA DIAMOND WALL INSULATING EXTERIOR STUCCO SYSTEM
2	FOAM TRIM W/STUCCO OVER INSTALLED PER MFR SPECIFICATIONS
3	1/2"x2 1/2" FOAM TRIM BATTEN BOARDS W/STUCCO OVER
4	1" FOAM SHUTTERS W/ STUCCO OVER
5	2x8 BARGE RAFTERS TYP
6	6" OGEEE GSM GUTTER TYP, NO FASCIA BOARD
7	12"x30" GSM VENT- PRIMED AND PAINTED- INSTALLED PER MFR SPECS
8	SQUARE DOWNSPOUTS TYP SEE ROOF PLAN
9	COMPOSITION ROOF, INSTALLED PER MFR SPECS
10	FOAM MAINSCOT TRIM W/STUCCO OVER
11	1/2"x2 1/2" FOAM TRIM BATTEN BOARDS AT PAINT COLOR CHANGE

ATTACHMENT C

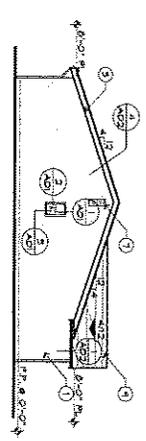




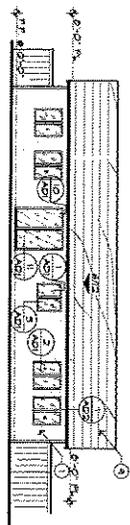
3 FRONT ELEVATION PLAN 1A
SCALE 1/2"=1'-0"



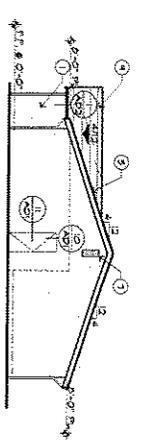
1 FLOOR PLAN PLAN 1
SCALE 1/8"=1'-0"



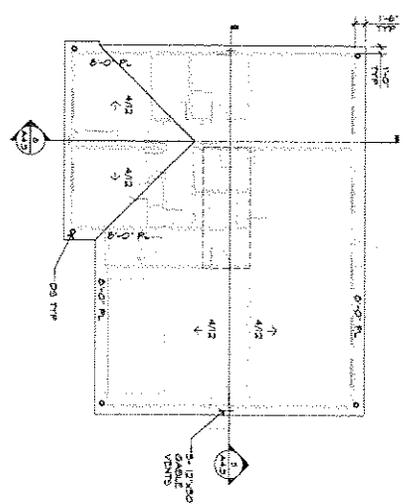
5 LEFT ELEVATION PLAN 1A
SCALE 1/8"=1'-0"



4 REAR ELEVATION PLAN 1A
SCALE 1/8"=1'-0"



6 RIGHT ELEVATION PLAN 1A
SCALE 1/8"=1'-0"



2 ROOF PLAN PLAN 1
SCALE 1/8"=1'-0"

MAXWELL ARCHITECTURE
RESIDENTIAL DESIGN
1414 14TH ST. N.
MINNEAPOLIS, MN 55412
PH: 612.338.1111
WWW.MAXWELLARCHITECT.COM

PROJECT:

PLAN 1

FLOOR PLAN & ELEVATIONS PLAN 1

SCALE: AS SHOWN

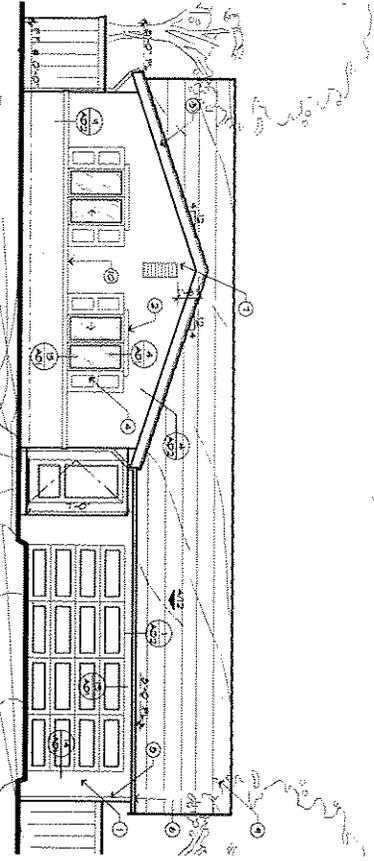
DATE: 10/10/10

DESIGNER: MAXWELL ARCHITECTURE

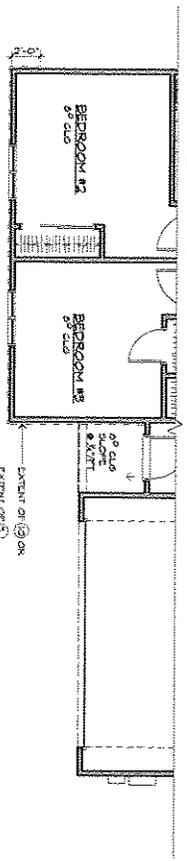
PROJECT NO.:

SHEET NO.:

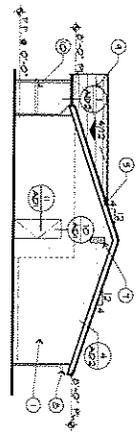
A4.1



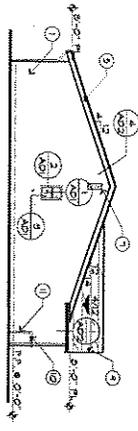
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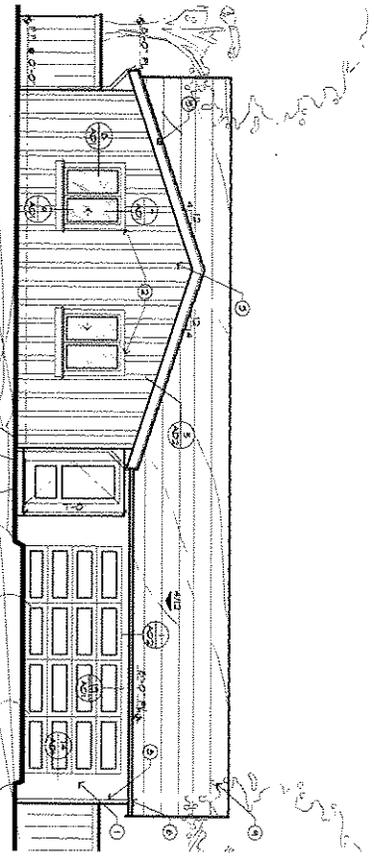
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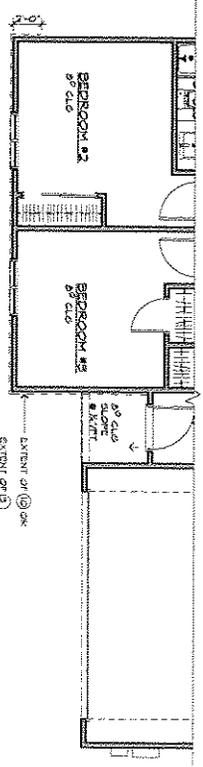
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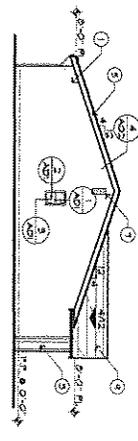
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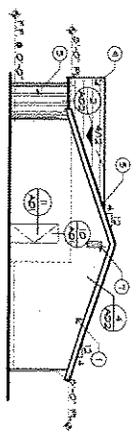
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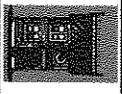
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SCALE: 1/8"=1'-0"



3 LEFT ELEVATION PLAN 1C
SCALE: 1/8"=1'-0"



4 RIGHT ELEVATION PLAN 1C
SCALE: 1/8"=1'-0"



STAVELAND INDUSTRIES
RESIDENTIAL DESIGN
LAURELHILL, CA
TEL: 925-254-1174
WWW.STAVELAND.COM

Staveland
INDUSTRIES
FORRESTERS

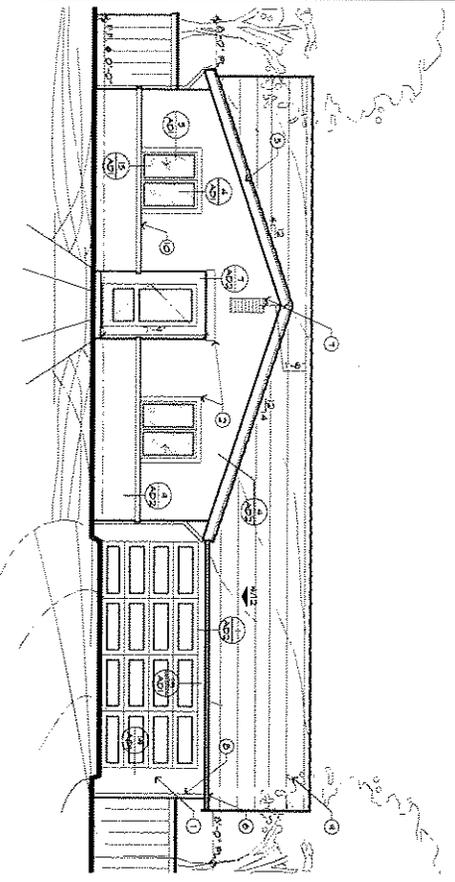
PLAN 1

NO.	REVISION

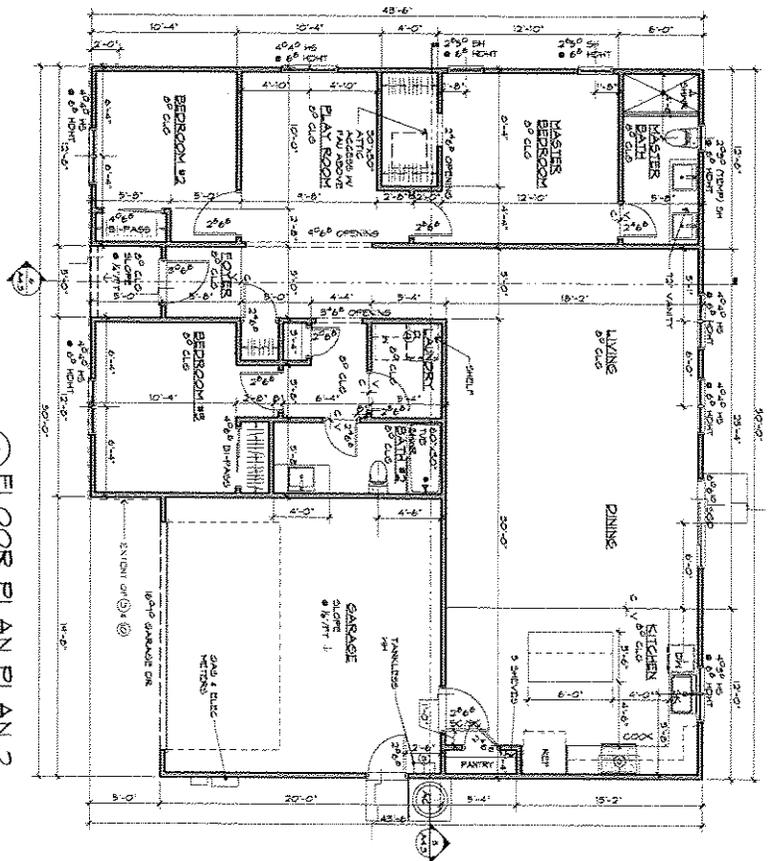
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ELECTRICAL PLAN & ELEVATIONS PLAN 1



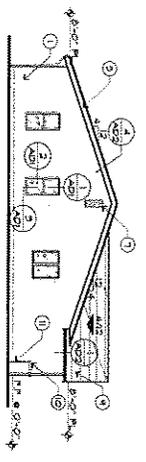
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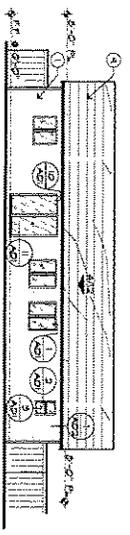
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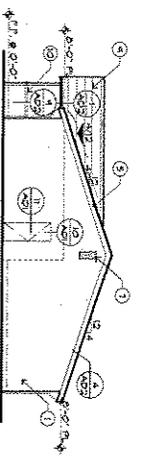
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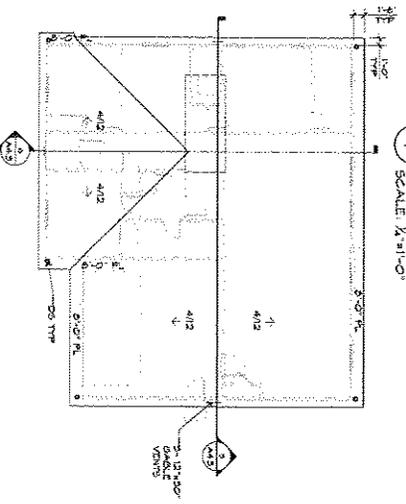
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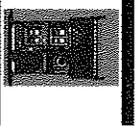
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6 RIGHT ELEVATION PLAN 2A
SCALE: 1/8"=1'-0"



2 ROOF PLAN PLAN 2
SCALE: 1/8"=1'-0"



STEVEN R. ANDERSON
ARCHITECTURAL DESIGN
LAVAPRITTE, CA
PH: 925.834.6171
WWW.STEVENANDERSON.COM



PLAN 2

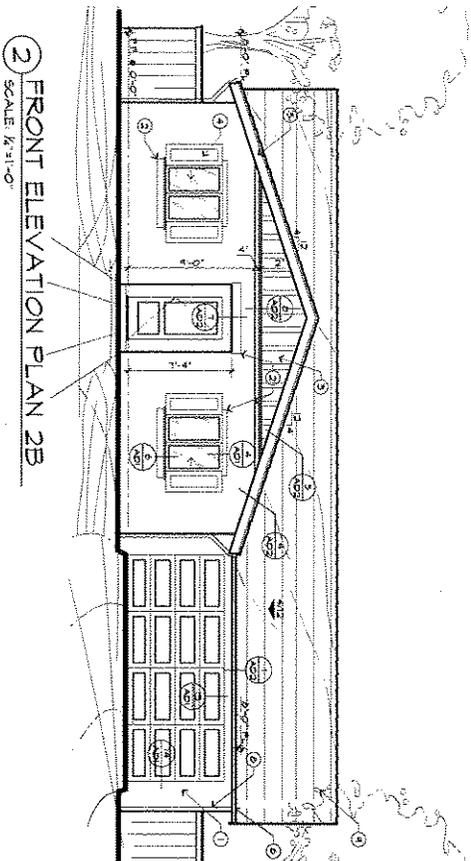
NO.	DATE	DESCRIPTION

SHEET TITLE
FLOOR PLAN
ROOF PLAN
ELEVATIONS
PLAN 2

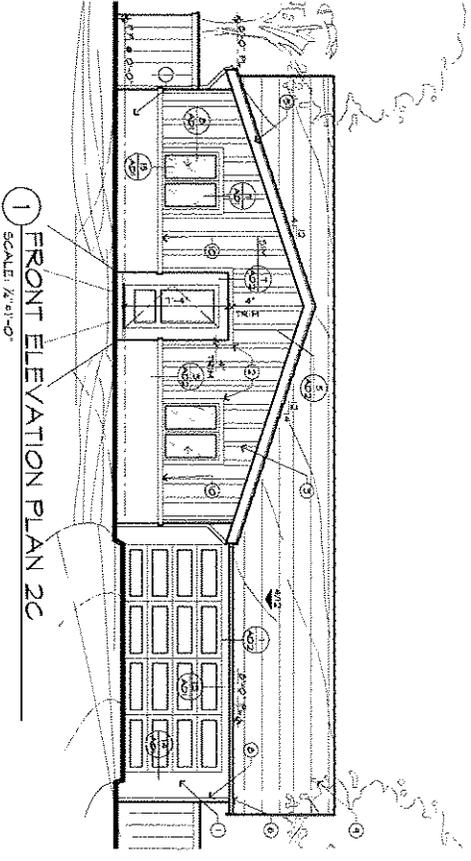
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DATE
11/11/11

PROJECT
A4.1



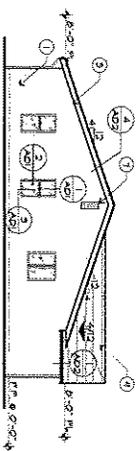
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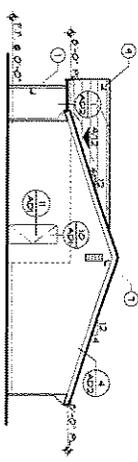
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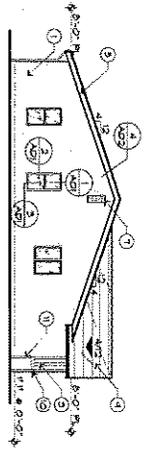
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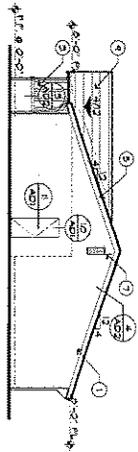
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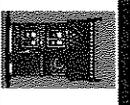
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SCALE 1/8"=1'-0"



3 LEFT ELEVATION PLAN 2C
SCALE 1/8"=1'-0"



4 RIGHT ELEVATION PLAN 2C
SCALE 1/8"=1'-0"



SEAN FERNANDES
RESIDENTIAL DESIGN
LAVANETTE, CA
info@seanfdesign.com
www.seanfdesign.com

Seane
RESIDENTIAL DESIGN

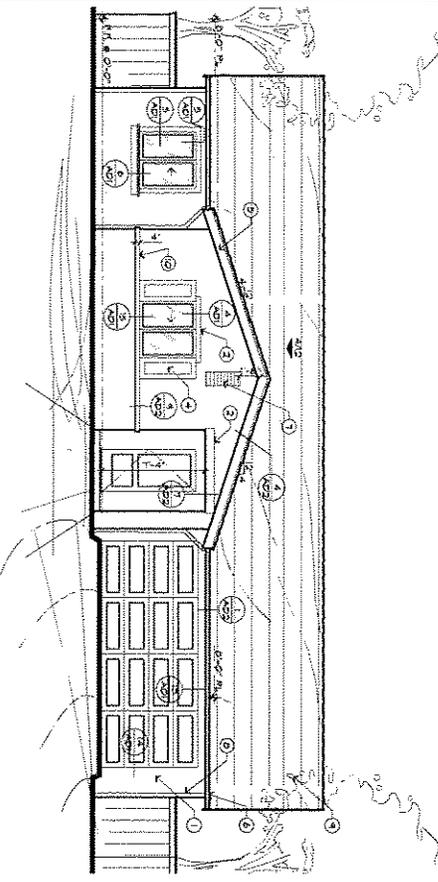
PLAN 2

NO.	DATE	DESCRIPTION

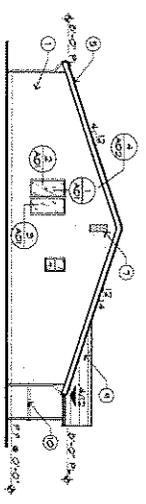
SHEET TITLE
ELECTRICAL PLAN & ELEVATIONS PLAN 2

SCALE AND NOTES
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DRAWN BY: VC
DATE: 10/1/13

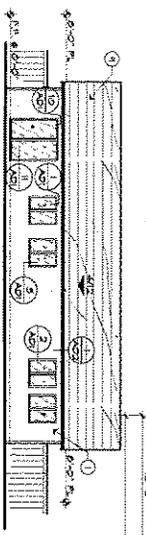
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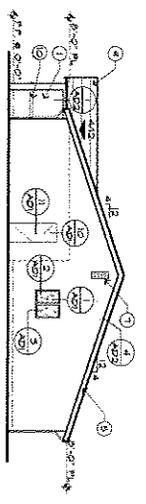
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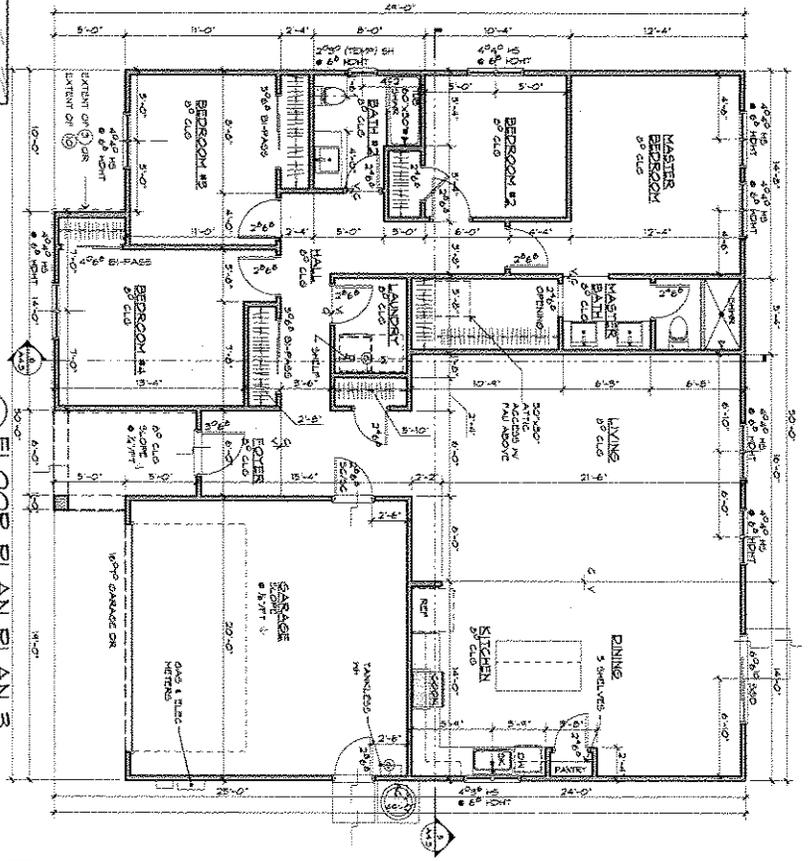
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SCALE: 1/8"=1'-0"



4 REAR ELEVATION PLAN 3A
SCALE: 1/8"=1'-0"

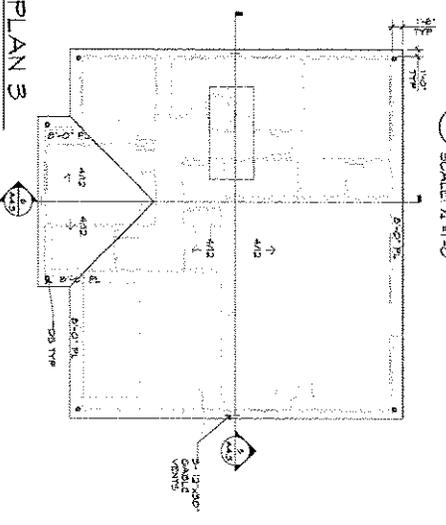


6 RIGHT ELEVATION PLAN 3A
SCALE: 1/8"=1'-0"



1 FLOOR PLAN PLAN 3
SCALE: 1/4"=1'-0"

2 ROOF PLAN PLAN 3
SCALE: 1/8"=1'-0"



PLAN 3

Paradise
RESIDENTIAL DESIGN

RESIDENTIAL DESIGN
LAVANETTE, CA
4400 W. BENTLEY AVE.
www.lavannedesign.com

PROJECT:

DATE: 10/10/10

SCALE: AS SHOWN

ADDITIONAL SHEET COUNTS:
DRAWING SET: C

SHEET NO. **A4.1**

**FLOOR PLAN
ROOF PLAN
ELEVATIONS
PLAN 3**

SHEET TITLE

DATE: 10/10/10

PROJECT: PARADISE

CLIENT: [REDACTED]

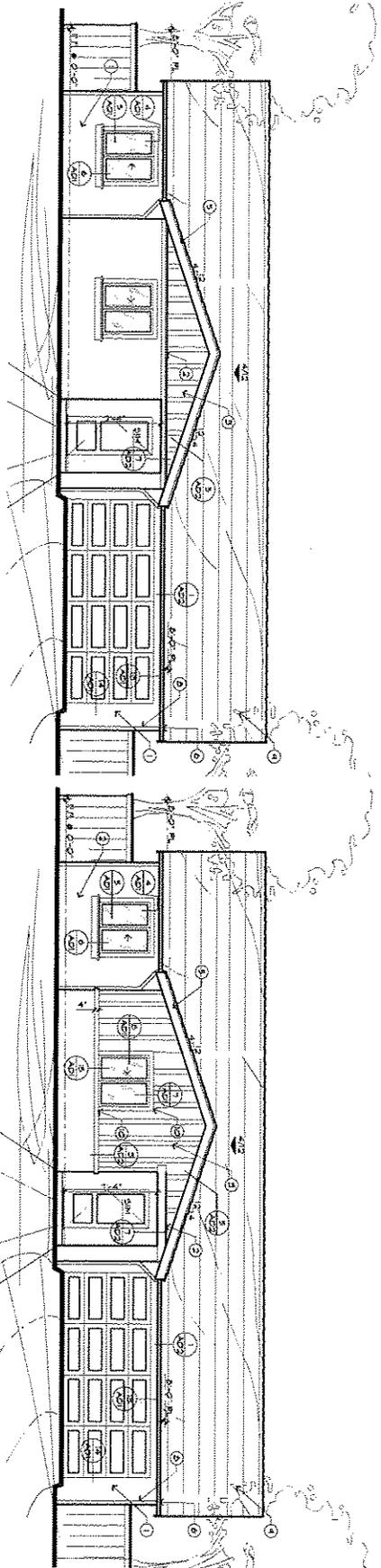
DESIGNER: [REDACTED]

ARCHITECT: [REDACTED]

SCALE: AS SHOWN

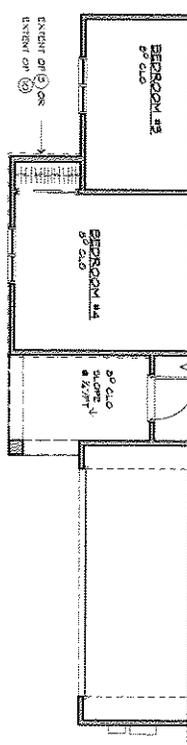
ADDITIONAL SHEET COUNTS:
DRAWING SET: C

SHEET NO. **A4.1**

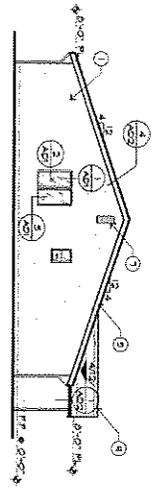


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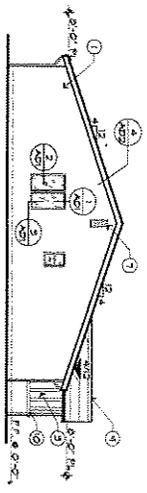
1 FRONT ELEVATION PLAN 3C
SCALE: 1/2"=1'-0"



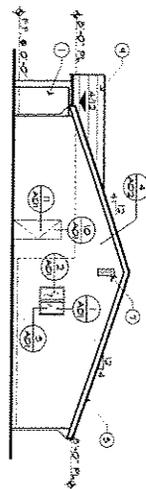
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SCALE: 1/2"=1'-0"



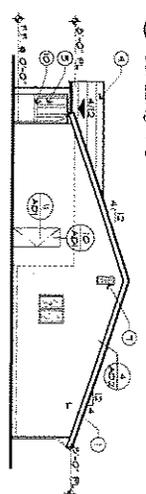
3 LEFT ELEVATION PLAN 3B
SCALE: 1/2"=1'-0"



3 LEFT ELEVATION PLAN 3C
SCALE: 1/2"=1'-0"



4 RIGHT ELEVATION PLAN 3B
SCALE: 1/2"=1'-0"



4 RIGHT ELEVATION PLAN 3C
SCALE: 1/2"=1'-0"



STEVEN ROBERTSON
RESIDENTIAL DESIGN
LAJAVITE, CA
srobertson@residentialdesign.com
www.residentialdesign.com

Signature
FURNITURES

PLAN 3

NO.	DATE	DESCRIPTION

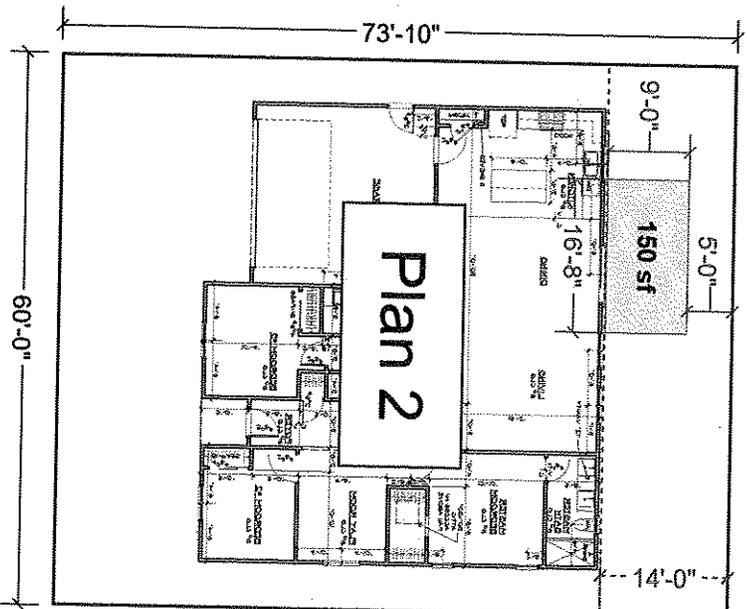
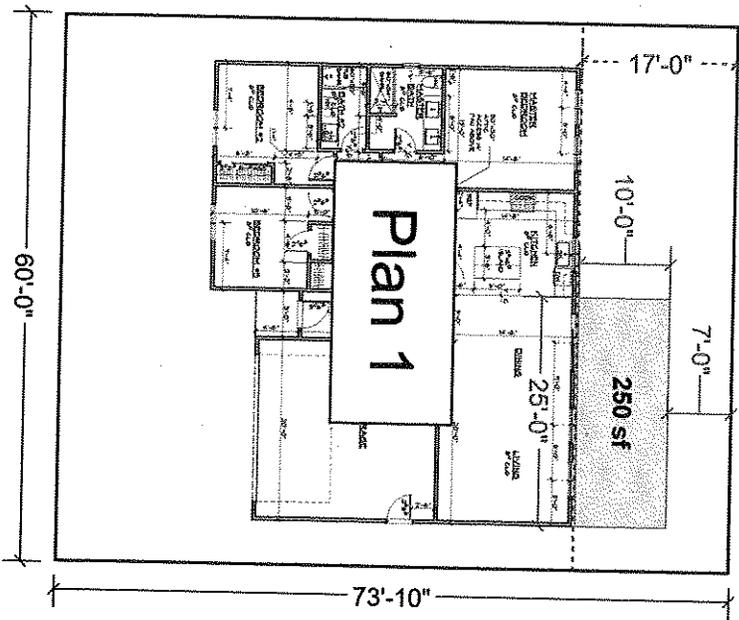
BY THE STATE OF CALIFORNIA, I, J. L. HARRIS, County Clerk, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the public records of the County of Santa Clara, California.

SHEET TITLE
ELECTRICAL
PLAN &
ELEVATIONS
PLAN 3

SCALE AS SHOWN
0 1 2 3 4 5 6
ADDITIONAL SHEETS: 10/15/10
DRAWN BY: JVC
SHEET NO.
A4.2

Shandala Estates - PD OVERLAY SETBACKS (for patio covers)

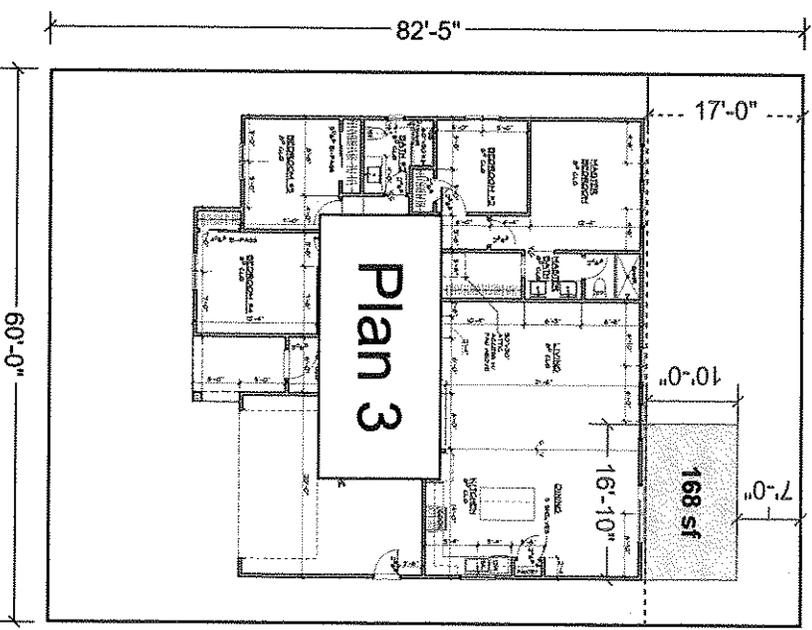
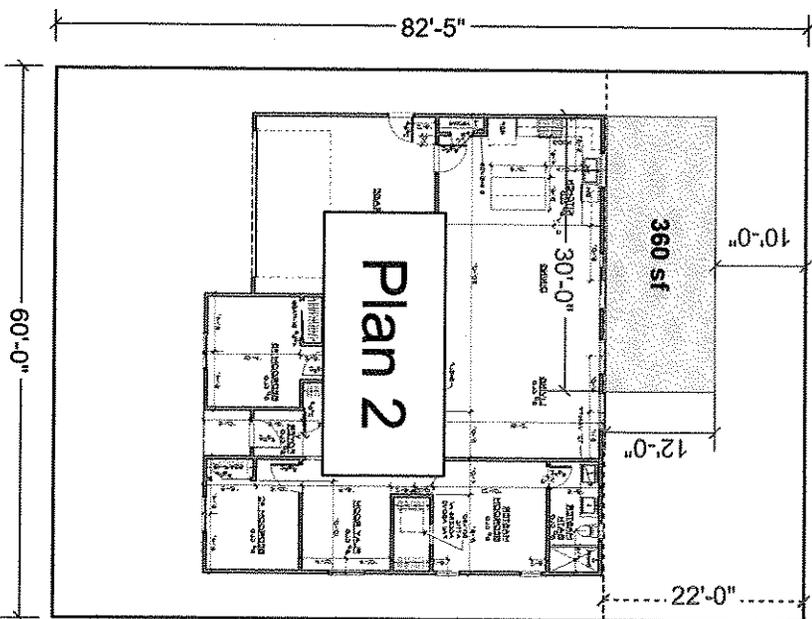
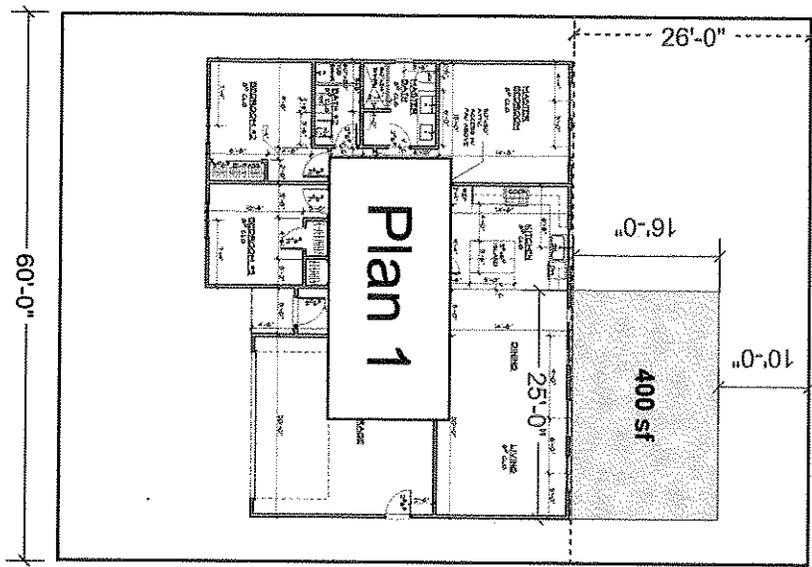
LOT #	LOT FOOTAGE	PLAN OPTIONS	Lot Coverage			Max Patio Cover Ftg	Total Coverage	COVERAGE PERCENTAGE	Patio Cover Min Setbacks		
			Living Area	Garage	Porch				Rear	Side	
1	4914	Plan 1	1457	395	24	250	2126	43.26%		7	
		Plan 2	1657	392	25	150	2224	45.26%		5	
2, 3, 4, & 5	4428	Plan 1	1457	395	24	250	2126	48.01%		7	
		Plan 2	1657	392	25	150	2224	50.23%		5	
6	4430	Plan 1	1457	395	24	250	2126	47.99%		7	
		Plan 2	1657	392	25	150	2224	50.20%		5	



ATTACHMENT D

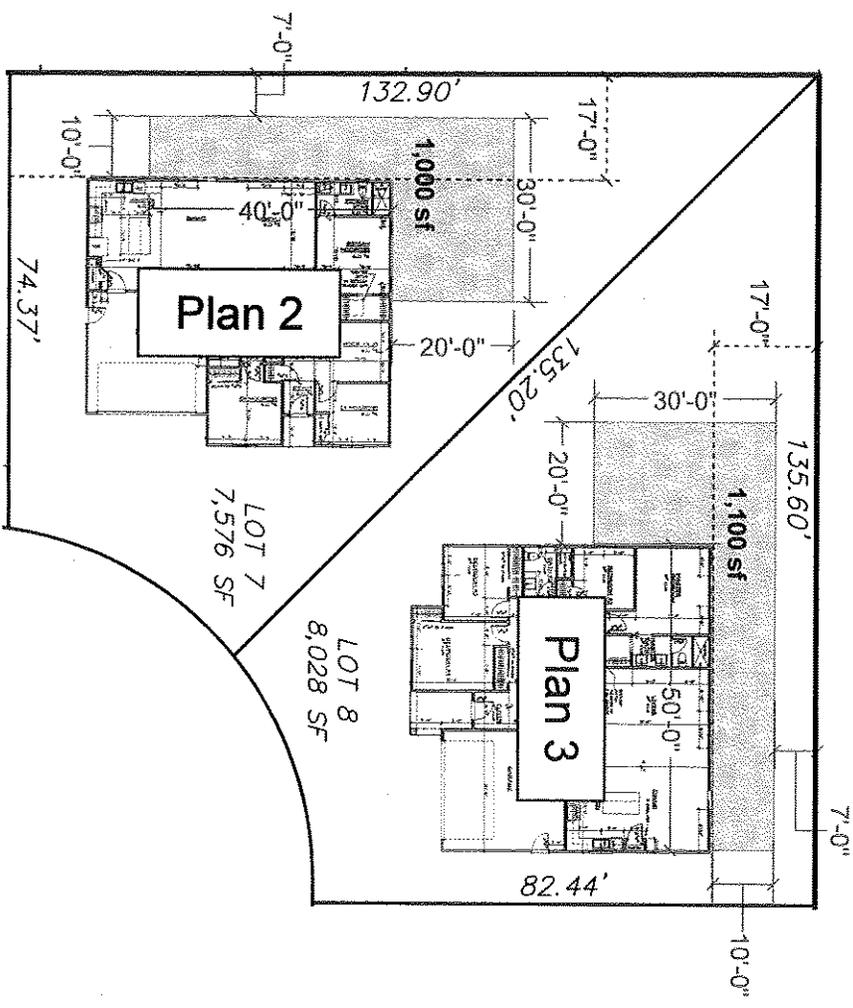
Shandala Estates - PD OVERLAY SETBACKS (for patio covers)

LOT #	LOT FOOTAGE	PLAN OPTIONS	Lot Coverage			Max Patio Cover Ftg	Total Coverage	COVER AGE PERCENTAGE	Patio Cover Min Setbacks	
			Living Area	Garage	Porch				Rear	Side
9, 10, 11, 12, 13, 16, & 17	4947	Plan 1	1457	395	24	400	2276	46.01%	10	5
		Plan 2	1657	392	25	360	2434	49.20%	10	
		Plan 3	1845	395	65	168	2473	49.99%	7	
14	6292	Plan 1	1457	395	24	400	2276	36.17%	10	5
		Plan 2	1657	392	25	360	2434	38.68%	10	
		Plan 3	1845	395	65	168	2473	39.30%	7	



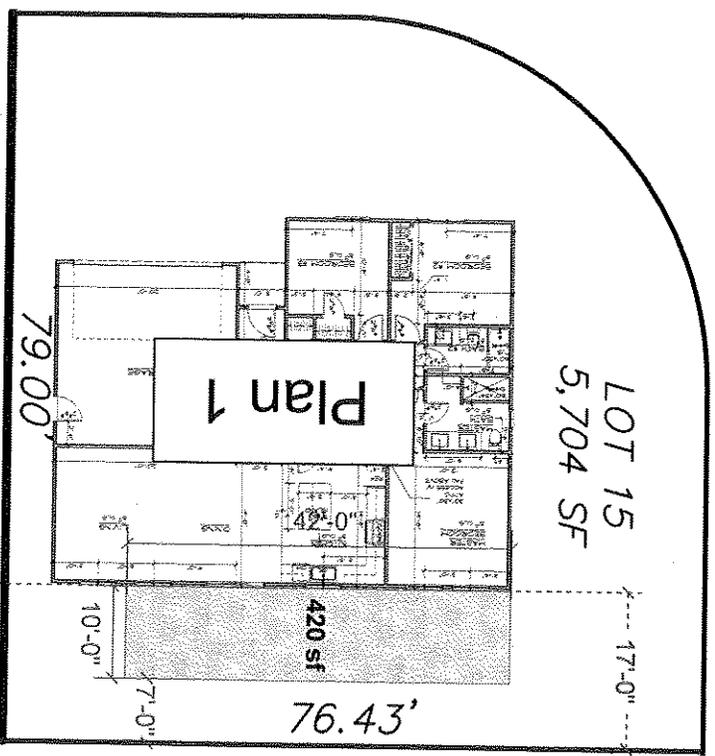
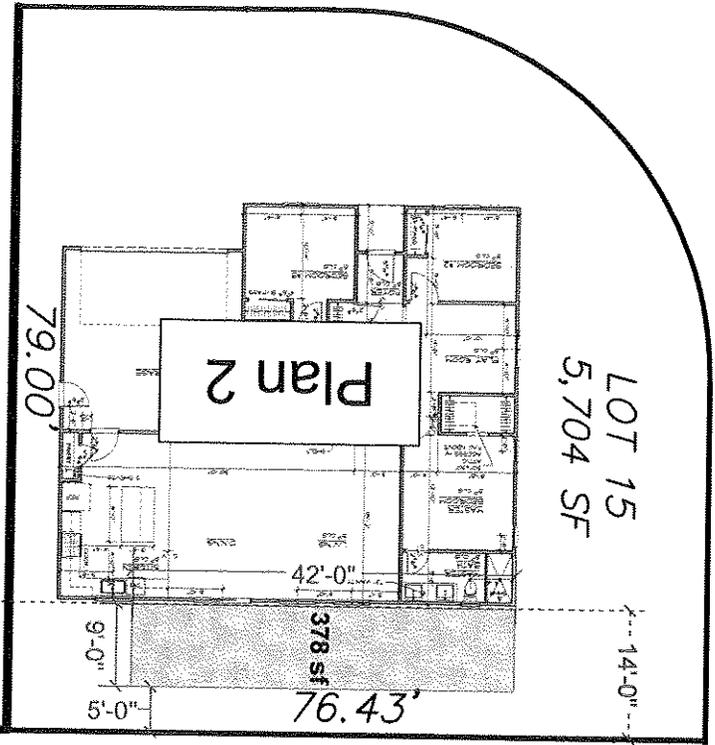
Shandala Estates - PD OVERLAY SETBACKS (for patio covers)

LOT #	LOT FOOTAGE	PLAN OPTIONS	Lot Coverage			Max Patio Cover Ftg	Total Coverage	COVERAGE PERCENTAGE	Patio Cover Min Setbacks	
			Living Area	Garage	Porch				Rear	Side
7	7576	Plan 2	1657	392	25	1,000	3074	40.58%	7	5
8	8028	Plan 3	1845	395	65	1,100	3405	42.41%	7	5



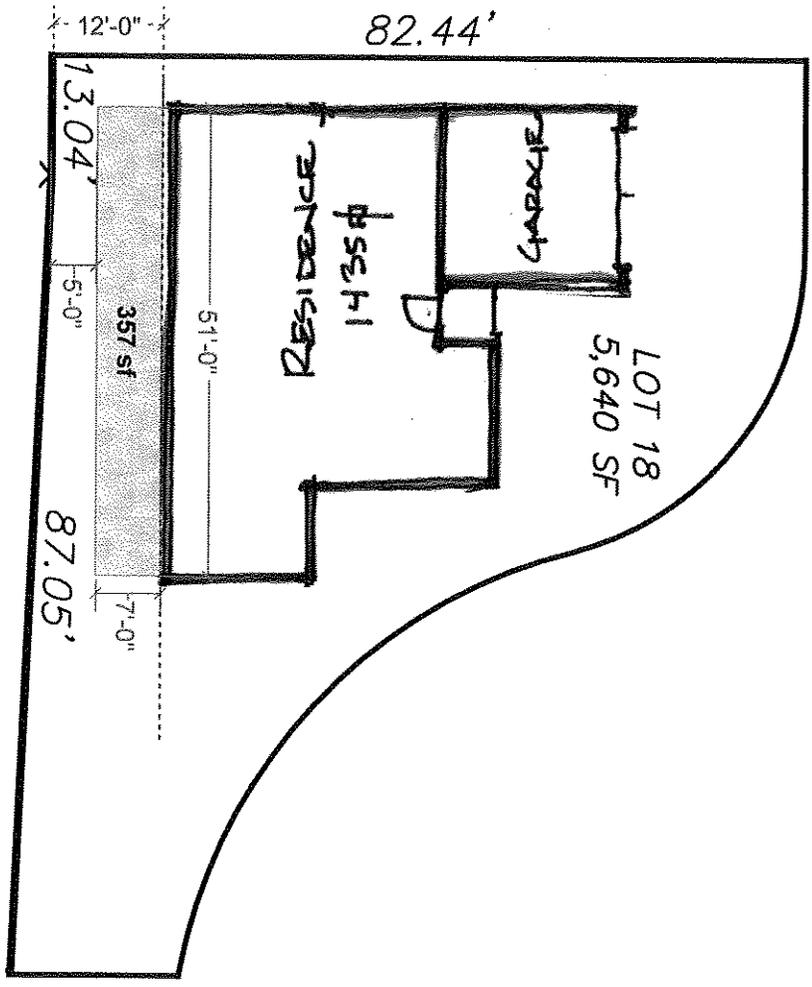
Shandala Estates - PD OVERLAY SETBACKS (for patio covers)

LOT #	LOT FOOTAGE	PLAN OPTIONS	Lot Coverage			Max Patio Cover Fig	Total Coverage	COVERAGE PERCENTAGE	Patio Cover Min Setbacks	
			Living Area	Garage	Porch				Rear	Side
15	5704	Plan 1	1457	395	24	420	2296	40.25%	7	5
		Plan 2	1657	392	25	378	2452	42.99%	5	5



Shandala Estates - PD OVERLAY SETBACKS (for patio covers)

LOT #	LOT FOOTAGE	PLAN OPTIONS	Lot Coverage			Max Patio Cover Ftg	Total Coverage	COVERAGE PERCENTAGE	Patio Cover Min Setbacks	
			Living Area	Garage	Porch				Rear	Side
18	5640	Pending	1435	400	30	357	2222	39.40%	5	5



**PLANNING COMMISSION
DRAFT CONDITIONS OF APPROVAL FOR LDS TENTATIVE MAP AND SITE
PLAN/DESIGN REVIEW
November 12, 2019**

The following conditions of approval are required to be satisfied by the applicants/developers prior to final map, unless otherwise stated.

GENERAL

1. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicants shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expense in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicants shall defend such action at applicants' sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicants of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicants shall not be required to pay or perform any settlement unless the subdivider in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning commission, any advisory agency to the City, local district and the City Council.
2. All conditions identified herein shall be fully satisfied prior to acceptance of the Final Map unless otherwise stated.
3. The project is as described in the November 12, 2019 Planning Commission staff report. The project shall be constructed as depicted on the maps and exhibits included in the November 12, 2019 Planning Commission staff report, except as modified by these conditions of approval. Substantive modifications require a public hearing and Council action.

GENERAL PLAN REQUIREMENTS

4. Pursuant to General Plan Policy II.D.4 and IV.A.1 necessary public facilities and services shall be available prior to the first occupancy of the project.
5. Pursuant to General Plan Policy IV.A.4 (second sentence), the developer shall pay in-lieu fees for the increment of parkland not provided on site, or at the City's discretion may construct needed improvements according to City specification in lieu of paying the fees.

6. Pursuant to General Plan Policy IV.B.14, there shall be a water meter on each new hook-up.
7. Pursuant to General Plan Policy IV.C.2, adequate sewer service shall be provided prior to the issuance of any individual building permit.
8. Pursuant to General Plan Policy IV.J.2, all new electrical and communication lines shall be installed underground.
9. Pursuant to General Plan Policy VI.A.6, grading shall be carried out during dry months, when possible. Areas not graded shall be disturbed as little as possible. Construction and grading areas, as well as soil stockpiles, should be covered or temporarily revegetated when left for long periods. Revegetation of slopes shall be carried out immediately upon completion of grading. Temporary drainage structures and sedimentation basins must be installed to prevent sediment from entering and thereby degrading the quality of downstream surface waters, particularly Putah Creek. The full cost of any necessary mitigation measures shall be borne by the project creating the potential impacts. Pursuant to General Plan Policy VII.B.3, should the City allow any grading to occur during the rainy season, conditions shall be implemented to ensure that silt is not conveyed to the storm drainage system.
10. Pursuant to General Plan Policy VI.E.6, construction-related dust shall be minimized. Dust control measures shall be specified and included as requirements of the contractor(s) during all phases of construction of this project and shall be included as a part of the required construction mitigation plan for the project.
11. Pursuant to General Plan Policy VII.A.1, VII.A.2, and VII.C.4 all site work and construction activities shall be in accordance with the requirements of the City, and other applicable local, regional, state, and federal regulations.
12. Pursuant to General Plan Policy VII.C.1, necessary water service, fire hydrants, and access roads shall be provided to the satisfaction of the Fire Chief and Fire Protection District standards.
13. Pursuant to General Plan Policy VII.C.2, a minimum fire-flow rate of 1,500 gallons per minute is required for all residential uses.
14. Pursuant to General Plan Policy VIII.D.2, street trees shall be planted along all streets, in accordance with the City's Street Tree Plan and Standards. There shall be a minimum of one street tree in the center front of each single-family lot, and on both frontages for corner lots. All trees shall be of a type on the approved street tree list and shall be a minimum of fifteen (15) gallons in size with a mature tree canopy of at least a thirty-foot diameter within five years.

15. Pursuant to General Plan Policy VIII.D.7, all lighting including street lighting, shall be designed, installed, and maintained to minimize excess light spillage, unnecessary brightness and glare, and degradation of night sky clarity.

COMMUNITY DEVELOPMENT AND BUILDING

16. Construction activities shall be limited to 7:00 am to 7:00 pm, Monday through Friday only (holidays excluded) in compliance with the City's Noise Ordinance and Standard Specifications.
17. Foundations shall be poured in place, onsite. No pre-cast foundations will be permitted. This shall be stipulated in all construction contracts.
18. Address numbering shall be plainly visible from public view using lettering that is a minimum of four inches in high with contrasting colors. Naming of streets and address numbering shall be completed by a committee comprised of the Community Development Department, the Fire District, the Police Department, and the Postal Service.
19. The applicants shall pay all development impact fees, fees required by other entities, and permit fees.
20. The applicants shall be responsible for any additional costs associated with the processing of this project including but not limited to: plan check, inspections, materials testing, construction monitoring, and other staff review and/or oversight including staff time necessary to ensure completion/satisfaction of all conditions of approval and mitigation measures. The applicants shall reimburse the City for all such costs. Project applicants shall pay all development impact fees adopted by the City Council and shall pay fees required by other entities.
21. Prior to issuing a building permit the applicants shall revise the elevations incorporating those changes as recommended by the planning commission at the November 12, 2019 meeting. The applicants shall also submit for staff's approval plans for the home that will be built on Lot 18.
22. On lots with a Plan 1 located on the court the minimum setback for a patio cover shall be 14 feet.
23. Prior to issuing a building permit the applicants shall provide staff with a fencing and front yard landscaping plan. Fencing shall be solid wood with metal post faced with wood.
24. Prior to issuing a certificate of occupancy for the homes on Lots 14 and 18 the applicants shall install a six-foot high wooden on the sides of the EVA that abuts Lots 14 and 18 as described in the staff report dated November 12, 2019.

25. Staff recommends, where possible, the applicants provide a ten (10) foot side yard adjacent to the garage.

DESIGN REVIEW

26. In order to achieve architectural diversity, applicants shall revise the design of the homes: the developer shall offer three (3) floor plans and nine (9) elevations (three per plan). A minimum of half of the required elevations shall include brick or stone veneer installed to a minimum height three feet from grade, with no more than a four-inch opening at the base. The veneer shall wrap around all sides of the structure visible from the front and sides so that it terminates at a point where the yard fencing begins.
27. The same (or substantially similar) elevation may appear no more than twice on one side of a block, or three times on either side of facing blocks, and may not be opposite or kitty-corner from the same elevation on the opposite side of the block.
28. Units on opposing sides of a street shall be compatible in terms of design and color.
29. Entry walks to individual residences shall be separated from the driveway by a landscaped area.
30. Exterior colors on residential units shall not be restricted.
31. Universal design features shall be incorporated as an option in residential units. These features shall include first floor passage doors and hallways, a handicap accessible path of travel from either the driveway or sidewalk to the entrance of the residential units, and other features determined by the Community Development Department.

AFFORDABLE HOUSING

32. An affordable housing plan/inclusionary housing agreement shall be reviewed by the Planning Commission and Affordable Housing Steering Committee and approved by the City Council.
33. Prior to recordation of the Final Map, an inclusionary housing agreement shall be prepared and executed by the applicants.

UTILITIES AND PUBLIC WORKS

34. The Developer shall comply with all aspects of the latest City of Winters Public Works Improvement Standards.
35. A signage and striping plan are required and shall be approved by the City Engineer. All striping shall be thermoplastic.

36. All perimeter parcels and lots shall be protected against surface runoff from adjacent properties in a manner acceptable to the City Engineer.
37. The Developer will be required to pay the appropriate City connection fees. All domestic water services will be metered. Water meters shall be installed on all water services to the satisfaction of the Public Works Department.
38. Grading shall be done in accordance with a grading plan prepared by the Developer's civil engineer and approved by the City Engineer. The amount of earth removed shall not exceed that specified in the approved grading plan. All grading work shall be performed in one continuous operation. The approved grading plan shall be included in the subdivision improvement plans. In addition to grading information, the approved grading plan shall indicate all existing trees and trees to be removed as a result of the proposed development, if any.
39. The Developer shall conform to County Health regulations and requirements for the abandonment of septic tanks and water wells, if any.
40. All electric, phone/data and cable facilities within 100 feet of the project boundary and within the project shall be installed underground and shall meet the policies, ordinances, and programs of the City of Winters and the utility providers.
41. Joint trench/utility/composite plans shall be submitted to the City Engineer for review, prior to approval of improvement plans. Applicant shall provide design and construction for conduit and boxes suitable for broadband internet service within the joint trench. The conduit shall be coordinated with all other utilities and shown on the joint trench composite plans. The conduit and boxes are to be constructed with the joint trench and completed before certificate of occupancy is issued.
42. Water, Sewer and Storm Drainage systems shall be designed and installed to the satisfaction of the Public Works Department.

GEOLOGY

43. Upon submittal of the initial improvement plans package, the Developer shall submit a soils and geotechnical report prepared by a geotechnical engineer that fully assesses the existing site conditions, and addresses all issues regarding excavation and grading, foundations and their construction, drainage, retaining wall systems, periodic on-site observations, and other related items involving the Project. All recommendations of the geotechnical engineer shall be incorporated into all final design and construction including foundations, grading, sewage disposal, and drainage. Final plans shall be reviewed and approved by the City Engineer prior to the issuance of a grading permit.

EASEMENTS

44. Appropriate easements shall be required for City maintained facilities located outside of City owned property or the public right-of-way.

45. The Developer shall agree to grant all public easements as determined by the City for public purposes.
46. A 10-foot Public Utility Easement (PUE) behind right-of-way shall be dedicated along all frontages.
47. The Developer shall obtain off-site easements from the LDS Church - PUE, Water, Landscaping, and EVA, as shown on the Tentative Map.

LANDSCAPING AND LIGHTING

48. The Property shall be annexed into the City of Winters City-Wide Maintenance Assessment District in order to maintain and provide for the future needs of street lighting and landscaping and other related aspects of development. The Property is subject to an assessment for lighting and landscape maintenance based on the assessment methodology described in the annual Engineer's Report. The assessment shall be the per parcel annual amount as established at the time of voting by the City Council.
49. Landscaping on the berm along the east side of the N-S roadway is on LDS property. The Developer shall obtain a right of entry to construct landscaping and enter into an agreement with LDS for future maintenance of the landscaping.
50. The Improvement Plans shall include a street lighting plan for approval to the City Engineer. Streetlights shall be decorative to match what was installed with Stone's Throw subdivision.
51. Streetlight power shall be coordinated with PG&E and appropriate numbers placed on each pole, prior to final acceptance of public improvements.
52. Entry walks to individual residences shall be separated from the driveway by a landscaped area.
53. Landscaping and irrigation shall be consistent with the applicable requirements of Chapter 17.76 of the Zoning Ordinance.

REIMBURSEMENTS FOR DEVELOPER INSTALLED IMPROVEMENTS

54. Developer shall pay appropriate reimbursements for benefiting improvements installed by others in the amount and at the time specified by existing reimbursement agreements. This applies to the W Main SS Pump Station and Force Main, and Rancho Arroyo SD Pump Station.

CONSTRUCTION CONDITIONS

55. Grading shall not occur when wind speed exceeds 20 MPH over a one-hour period, construction vehicle speed on unpaved roads shall not exceed 15 MPH, and construction equipment and engines shall be properly maintained.

56. Potentially windblown materials shall be watered or covered.
57. Construction areas and streets shall be wet swept.
58. All inactive portions of the construction site that have been graded shall be seeded and watered until vegetation is grown.
59. Tarpaulins or other effective covers shall be used for haul trucks.
60. Construction practices shall minimize vehicle idling.
61. All projects shall include implementation of post-construction best management practices (BMP). Post construction BMPs shall be identified on improvements plans and approved by the City Engineer.
62. A hydrant use permit shall be obtained from the Public Works Department for the use of hydrant water during the construction.
63. Existing public and private facilities damaged during the course of construction shall be repaired by the Developer, at his sole expense, to the satisfaction of Public Works and the City Engineer.

EROSION AND SEDIMENTATION

64. The project shall require a National Pollution Discharge Elimination System (NPDES) construction permit. Post construction Best Management Practices (BMPs) shall be identified on improvement plans.
65. A SWPPP shall be included with the improvement plans for all projects regulated by the construction general permit, to be approved by the City. The WDID# shall be included on the plans, prior to City Engineer approval.
66. Cut and fill slopes shall be in conformance with the recommendations of the soils engineer but shall in no case be steeper than 3:1 in public rights-of-way and easements and 2:1 in other areas.
67. Landscaped slopes along streets shall not exceed 3:1. Level areas having a minimum width of one (1) foot shall be required at the toe and top of said slopes.

ROADS AND STREETS

68. All proposed roads within the subdivision shall comply with the City's Public Works Improvement Standards and Construction Specifications, dated December 2015 or as amended. If not, then a Design Exception must be approved by the City Engineer.
69. Any "No Parking" limits shall be included on the Improvement Plans, for City approval.
70. Pedestrian circulation shall be provided as shown on the Tentative Map.
71. Each residence in the cul-de-sac must be able to accommodate parking for 3 vehicles: either (3) on-site parking spaces or two (2) on-site spaces and (1) on-street

space. The on-street space shall be along the frontage of the subject property with no more than a 10-foot overlap across the frontage of adjacent parcels.

FINAL MAP

72. Prior to final acceptance of the public improvements; the engineer or surveyor shall set sufficient durable monuments to conform to the standards described in Section 8771 of the Business and Professions Code. All monuments necessary to establish the exterior boundaries of the subdivision shall be set or referenced prior to recordation of the final map.
73. Closure calculations shall be provided at the time of initial Final Map check submittal. All calculated points within the map shall be based upon one common set of coordinates. All information shown on the map shall be directly verifiable by information shown on the closure calculation print out. The point(s) of beginning shall be clearly defined, and all lot acreages shall be shown and verifiable from information shown on the closure calculation print out. Additionally, the square footage of each lot shall be shown on the subdivision map.
74. The Developer shall provide the City Engineer with an electronic copy and two print copies of the recorded final map from the County, prior to issuance of the first building permit.
75. Prior to recordation of the Final Map, the Developer shall enter into a subdivision improvement agreement with the City prior to recordation of final map.
76. Developer shall pay all development impact fees adopted by the City Council and shall pay fees required by other entities.
77. A current title report shall be submitted with the Final Map. The title report shall include the entire legal boundary of property being divided.

MISCELLANEOUS

78. Proposed improvements, including but not limited to, grading, streets, utilities, and landscape have not been reviewed in detail and are not approved at this time. The City Engineer shall review the design of all improvements, during the plan check process and that plans shall be revised, as needed, at the discretion of the City Engineer.
79. U.S. Postal Service mailbox locations shall be coordinated with the Postmaster and shown on the as-built improvement plans.
80. Prepare improvement plans for work within the public right-of-way, including an on-site grading plan, and submit them to the Public Works department for review and approval. The improvement plan sheets shall conform to the City of Winters Public Improvements Standards and Construction Standards. This submittal is separate from the building permit submittal. The Developer shall provide two sets of each

improvement plan submittal for review. Upon City Engineer approval, the Developer shall provide 2 wet-stamped sets of approved improvement plans, two wet-stamped sets of approved grading plans, and two print sets of the grading plans. The Developer shall submit the one electronic media file (PDF) of the entire set of plans.

81. The conditions as set forth in this document are not all inclusive. The Developer shall thoroughly review all city, state, and federal planning documents associated with this map and comply with all regulations, mitigations, and conditions set forth.
82. The public improvements on the improvement plans shall be constructed and accepted prior to issuance of any building permit, or as otherwise approved by the City.
83. Occupancy of residential units shall not occur until necessary public improvements (water, sewer, streets, etc.) have been accepted by the City.
84. Applicant shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).
85. Applicant shall be responsible to comply with all permitting requirements from federal, state, or other local agencies.
86. The Engineer shall provide two print sets and a PDF of each improvement plan submittal for review. Upon City Engineer approval, the Engineer shall provide 2 prints and a PDF of the approved plans.
87. All construction shall follow the requirements outlined by City Ordinances and the Building Codes.

RESOLUTION NO. 19-01

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WINTERS
RECOMMENDING TO THE CITY COUNCIL APPROVAL OF THE EIGHTEEN (18) LOT
TENTATIVE MAP FOR THE CHURCH OF LATTER-DAY SAINTS (LDS) SUBDIVISION**

WHEREAS, the Winters Planning Commission held a duly noticed public hearing on October 22, 2019 and November 12, 2019 to review and consider recommending to the City Council approval of the proposed Tentative Map Subdivision Map for the LDS Subdivision (APN 030-220-034); and

WHEREAS, the Planning Commission reviewed and considered a proposed tentative map for the LDS Creekside Estates Subdivision; and

WHEREAS, the Planning Commission found the proposed tentative map was categorically exempt from CEQA, Section 15332, Class 32, Infill-Development Project on less than five (5) acres; and

WHEREAS, proper notice of this public hearing was given in all respects required by law; and

WHEREAS, the Planning Commission has reviewed all written evidence and all oral testimony presented to date.

NOW, THEREFORE, BE IS RESOLVED, that the Planning Commission of the City of Winters, based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, recommends the City Council approve the LDS Subdivision, attached hereto as Exhibit 1.

PASSED AND ADOPTED, by the Planning Commission of the City of Winters at a special meeting on the ___ day of _____ 2019, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Chairperson

ATTEST:

Planning Commission Secretary

ORDINANCE NO. 2019 - 05

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WINTERS
AMENDING THE OFFICIAL MAP OF THE CITY OF WINTERS BY ADDING PLANNED
DEVELOPMENT (PD) OVERLAY ZONE TO THE EXISTING SINGLE-FAMILY RESIDENTIAL
(R-1) ZONING AND ADOPTING (PD) PERMIT REGULATIONS FOR THE CHURCH OF THE
LATTER-DAY SAINTS (LDS) SUBDIVISION

The City Council of the City of Winters, State of California, does hereby ordain as follows:

1. Purpose. The purpose of this ordinance is to amend the official zoning map of the City of Winters by adding the PD Overlay Zoning to the existing Single-Family Residential (R-1) Zoning as shown in "Exhibit A".

2. Authority. The City of Winters has authority to adopt this ordinance pursuant to the general police power granted to cities by Article 11, Section 7 of the California Constitution.

3. Rezoning. The subject property PD Permit regulations are hereby adopted as shown on "Exhibit B," attached hereto and incorporated herein by reference.

4. Effective Date and Notice. This ordinance shall take effect thirty (30) days after its adoption and, within fifteen (15) days after its passage, shall be published at least once in a newspaper of general circulation published and circulated within the City of Winters.

INTRODUCED at a regular meeting on the ____ day of _____, 2019 and **PASSED AND ADOPTED** at a regular meeting of the Winters City Council, County of Yolo, State of California, on the __ day of _____, 2019 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Bill Biasi, Mayor

ATTEST:

Tracy S. Jensen, City Clerk

APPROVED AS TO FORM:

Ethan Walsh, City Attorney

ATTACHMENT G