

CITY OF WINTERS REGULAR PLANNING COMMISSION AGENDA

Tuesday, June 26, 2018 @ 6:30 PM  
City of Winters Council Chambers  
318 First Street  
Winters, CA 95694-1923  
Community Development Department  
Contact Phone Number (530) 794-6713  
Email: [dave.dowswell@cityofwinters.org](mailto:dave.dowswell@cityofwinters.org)

Chairperson: Paul Myer  
Vice Chair: Lisa Baker  
Commissioners: Dave Adams, Patrick  
Riley, Gregory Contreras, Daniel  
Schrupp, Ramon Altamirano  
City Manager: John W. Donlevy, Jr.  
Management Analyst, Dago Fierros

- I CALL TO ORDER
- II ROLL CALL & PLEDGE OF ALLEGIANCE
- III CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.
- IV CONSENT ITEM
  - A. Minutes of the May 22, 2018 regular meeting of the Planning Commission.
- V STAFF/COMMISSION REPORTS
- VI DISCUSSION ITEMS:
  - A. Public Hearing and Consideration of an application by Bobby Rodriguez for Site Plan/Design Review to add a new 983 square foot single family dwelling to the property at 800 Hemenway Street.
  - B. Public Hearing and Consideration of an application by Nick Girimonte for Site Plan/Design Review to add a 933 square foot second story addition to the existing house located at 508 Abbey Street.
  - C. Public Hearing and Consideration of an application by Chris Williams for Site Plan/Design Review approval of (5) model homes to be located on Hemenway Street as part of the Olive Grove Subdivision Phase I.
  - D. Discussion regarding food truck and AirBnB regulations.
- VII COMMISSION/STAFF COMMENTS
- VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON JUNE 21, 2018



DAVID DOWSWELL, CONTRACT PLANNER, COMMUNITY DEVELOPMENT DEPARTMENT

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

THE COUNCIL CHAMBER IS WHEELCHAIR ACCESSIBLE

May 22, 2018 Minutes will be available  
at the July 24 meeting





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners  
**DATE:** June 26, 2018  
**FROM:** David Dowswell, Contract Planner, Community Development Department   
**SUBJECT:** Public Hearing and Consideration of an application by Bobby Rodriguez for Site Plan/Design Review to add a new 983 square foot single family dwelling to the property at 800 Hemenway Street.

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**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Design/Site Plan Review for a new 983 square foot single family dwelling/home with a 410 square foot garage.

**GENERAL PLAN LAND USE DESIGNATION:** The General Plan land use designation for the site is Medium Density Residential (MR).

**SURROUNDING LAND USES, ZONING AND SETTING:** The property is zoned Single Family Residential (R-2). The surrounding land uses and zoning are as follows:

North: Single Family – Single Family Residential (R-2)  
South: Single Family – Single Family Residential (R-2)  
East: Single Family – Single Family Residential (R-2)  
West: Single Family – Single Family Residential (R-2)

The existing lot is developed with a single family home.

**BACKGROUND:** According to the County Assessor the existing single family was built in 1955. A permit for a utility shed (presumably the one being torn down) was issued in 1956.

**PROJECT DESCRIPTION:** The applicant, Bobby Rodriguez, is requesting approval to construct a second single family dwelling on a lot with an existing single family dwelling.

The new dwelling, which faces Anderson Street, will be one story with 983 square feet of living space and a 410 square foot two-car garage. The existing single family dwelling, which faces Hemenway Street, is one story with 1,450 square feet of living space and a 200 square foot one-car garage. There is an existing shed in the northwest corner of the lot that will be torn down. The lot is 12,104 square feet.

The new dwelling design is somewhat traditional with stucco finish and composition shingle roof, similar to the existing dwelling. Windows will be multi-paned. There will be a two-car garage with a contemporary roll-up door (Attachment A).

**ANALYSIS:**

Land Use: In the General Plan, Policy II.A.5 encourages providing housing for all economic segments of the community. Program II.6 states, "The City shall continue to allow for the development of duplexes on corner lots as permitted use within the single-family zoning designation (R-1 and R-2) zones). The City will promote the construction of duplexes, including duplexes affordable to the very-low- or low-income households, through the following actions: The City will encourage homebuilders to construct duplexes on corner lots as part of pre-application conferences." Section 17.56.010, Table 3B of the Zoning Ordinance, allows corner lots as small as 3,500 square feet if they are developed with affordable attached or detached duplexes. Lot sizes for market rate attached or detached duplexes shall be a minimum of 11,500 square feet. The proposed lot at 12,104 complies with this requirement.

Design and Site Plan Review: The site plan complies with the R-2 regulations for both the existing and new dwelling unit. Parking for the exiting unit is met with the one-car garage and a parking pad behind the gate located on the north side. The design of the new house is different but compatible with the existing dwelling. The exiting house has a brick wainscot.

The exterior design of the proposed home is attractive. It will be compatible with the design of the existing single family dwelling and the other homes in the area. To add some interest to the front of the house, which is dominated by the garage, staff recommends adding a brick wainscot on each side of the garage door and wrapping it around the side of the garage leading to the entrance. The brick does not have to be the same color or type used on the existing dwelling. Staff also recommends adding windows/lites to the upper portion of the garage door. The windows/lites should be multi-paned to match the windows used on the house.

The lot is an infill lot. One of the items the Planning Commission must consider when reviewing the design of a new home is the use of landscaping and decorative paving, which provides effective screening or softening of the development. The applicant will need to provide a landscaping and irrigation plan for the front yard. The plan shall include a minimum of one 15-gallon, double-staked street tree from the City's approved street tree list and a mix of shrubs and ground cover.

**METHODOLOGY:** Two actions are required to process the proposed project:

1. Confirmation of CEQA exemption finding – Section 15303 Class 3(a), New Construction or Conversion of Small Structures.
2. Approval of Site Plan (Design Review) and the attached conditions.

**PROJECT NOTIFICATION:** Two methods of public notice were used: (1) a legal notice was published in the Winters Express on Thursday, June 14, 2018 and (2) notices were mailed to all property owners within three hundred feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review on the City's web site and at City Hall beginning June 21, 2018.

**ENVIRONMENTAL ASSESSMENT:** Design/Site Plan Review application has been reviewed in accordance with the California Environmental Quality Act (CEQA) and is categorically exempt under Section 15303 Class 3(a).

**RECOMENDED FINDINGS FOR DESIGN/SITE PLAN:** Staff has prepared the following findings of approval.

**CEQA Findings:**

1. The design/site plan review is exempt from the provisions of CEQA, Section 15303 Class 3(a) – New Construction or Conversion of Small Structures.
2. The Planning Commission has considered comments received on the project during the public review process.
3. The exemption finding reflects the independent judgment and analysis of the City of Winters.
4. The Planning Commission hereby confirms a Section 15303 Class 3(a) New Construction or Conversion of Small Structures exemption for the 800 Hemenway Street project.

**General Plan and Zoning Consistency Findings:**

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential and this designation provides for single-family detached and attached homes. The project will facilitate a new single-family residence.
2. The project is consistent with the provisions of the Zoning Ordinance. The principal uses of the R-2 Zone are single-family homes and duplexes. The project will facilitate a new single-family residence.

**RECOMMENDATION:** Should the Planning Commission decide to approve the project, staff recommends that the Commission make an affirmative motion as follows:

**I MOVE THAT THE WINTERS PLANNING COMMISSION APPROVE THE 800 HEMENWAY STREET PROJECT (DESIGN/ SITE PLAN) BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:**

- Confirmation of exemption from the provisions of CEQA.
- Confirmation of consistency findings with the General Plan and Zoning Ordinance.
- Approval of the Design/Site Plan of the project as depicted on the plans submitted and subject to the conditions of approval attached hereto.

**ALTERNATIVES:**

The Commission can elect to modify any aspect of the approval or to deny the application. If the Commission chooses to deny the application, staff would need to prepare findings for the Commission adopt at the next meeting. The findings would need to illustrate the reasoning behind the decision to deny the project.

**ATTACHMENTS:**

- A. Site plan and elevations
- B. Conditions of approval

# PROPOSED NEW 2ND UNIT

## 800 HEMENWAY AVE WINTERS CALIFORNIA 95694

### GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE OWNER.
2. ALL CONSTRUCTION MUST COMPLY WITH ALL LOCAL GOVERNING CODES.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES.
4. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING AT THE REQUIRED LOCATIONS FOR ALL WALL, MOUNTED SHELVING, TABLES ETC. NO EXTRA FEES WILL BE ENTERAINED FOR RECEIVING AND SNAPS STORAGE OF ALL MATERIALS ON THE JOB.
5. CONTRACTOR IS RESPONSIBLE FOR RECEIVING AND SNAPS STORAGE OF ALL MATERIALS ON THE JOB.
6. CONTRACTOR SHALL CONTROL NOISE PRODUCTION THROUGHOUT THE PROJECT. NOISE SHALL BE LIMITED TO 65 DBA ON EACH SIDE OF STUOUS UNLESS NOTED OTHERWISE. ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE CODES SPECIFIED ON THESE PLANS.
7. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS USED TO ACCOMPLISH THE WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND SHALL COORDINATE SUCH WITH THE CITY OF WINTERS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, ENGINEERING, AND OTHER PROFESSIONAL SERVICES AND PROVIDING TO ALL EQUIPMENT ARE PROVIDED.
10. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
11. CONTRACTOR SHALL CONTROL NOISE PRODUCTION THROUGHOUT THE PROJECT. NOISE SHALL BE LIMITED TO 65 DBA ON EACH SIDE OF STUOUS UNLESS NOTED OTHERWISE. ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE CODES SPECIFIED ON THESE PLANS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, ENGINEERING, AND OTHER PROFESSIONAL SERVICES AND PROVIDING TO ALL EQUIPMENT ARE PROVIDED.
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14. CONTRACTOR SHALL CONTROL NOISE PRODUCTION THROUGHOUT THE PROJECT. NOISE SHALL BE LIMITED TO 65 DBA ON EACH SIDE OF STUOUS UNLESS NOTED OTHERWISE. ALL WORK SHALL CONFORM TO THE LATEST ISSUE OF THE CODES SPECIFIED ON THESE PLANS.

### PROJECT DESCRIPTION

**PROPERTY OWNER:**  
ROBERTO RODRIGUEZ  
800 HEMENWAY AVE  
WINTERS CA 95694

**PROJECT ADDRESS:**  
800 HEMENWAY AVE  
WINTERS CA 95694

**ASSESSOR PARCEL #:**  
019271409

**LOT SIZE:**  
12,014 SQ. FT.  
20' WIDE R-2

**PROPOSED AND UNIT FLOOR PLAN:**  
BUILDING AREA: 983 SQ. FT.  
COMPLETED SPACE: 983 SQ. FT.  
GARAGE: 410 SQ. FT.  
TOTAL LOT COVERAGE: 1,393 SQ. FT. OR 27%

**EXISTING HOUSE BUILDING AREA:**  
1,850 SQ. FT.  
BASEMENT: NO

### GOVERNING AUTHORITY

THE CITY OF WINTERS  
BUILDING DEPARTMENT  
Building Official: Gene Adamson  
530-739-4910 to 4117  
genecadamson@cityofwinters.org

### SCOPE OF WORK

ADD NEW 2ND RESIDENTIAL UNIT TO PROPERTY WITH EXISTING SINGLE FAMILY HOME

### PROJECT LOCATION



### CODES

- 2016 California Building Code, Part 2, Volume 1 & 2 (based on the 2015 California Mechanical Code (based on the 2015 Uniform Mechanical Code))
- 2016 California Electrical Code (based on the 2015 Uniform Electrical Code)
- 2016 California Fire Code (based on the 2015 International Fire Code)
- 2016 California Fire Code (based on the 2015 International Fire Code)
- 2016 California Residential Code (based on the 2015 International Residential Code)
- 2016 California Existing Building Code (California)
- 2016 California Fire Code (based on the 2015 International Fire Code)
- 2016 California International Standards Code, Part 2

OCCUPANCY GROUP: R  
CONSTRUCTION TYPE: TYPE-V

### DESIGN CRITERIA

**LIVE LOADS:** 20 PSF (BOC'D TO PER)

**WIND:** Wind Speed: 115 mph (150 mph (100% WIND SPEED))  
Wind Exposure: Category II

**SEISMIC:** Seismic Design Category: B (10% SDS, 1.0 SDS, 1.0 SDS)  
Foundation: Allowable (Fixed) Soil Bearing Pressure = 1000 psf (1200 psf)  
(See Table 1601.2.1)

**Ground Slope:** Average Slope Category: II

### CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CODE AND WITH THE PROVISIONS OF ACI 308.1 (MAY 1997 EDITION).
2. SCHEDULE OF STRUCTURAL CONCRETE 28-DAY STRENGTH AND TYPES: STRENGTH: DENSITY: SLUMP
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE II.
4. ALL REQUIREMENTS AND TESTS OF ASTM C-150 AND PRODUCTS TO SPECIFICATIONS.
5. CONCRETE MIXING OPERATION, ETC. SHALL CONFORM TO ASTM C-94.

### DEFERRED SUBMITTALS

1. Per manufacturer wood truss cuts and drawings.

### OWNER/CONTRACTOR REVIEW

THE CONSTRUCTION CONTRACT FOR THIS PROJECT IS TO BE NEGOTIATED DIRECTLY BETWEEN THE OWNER AND HIS/HER CONTRACTOR, AND THEY WILL ACT IN UNISON TO PROPERLY EXECUTE THE INTENT OF THESE AND OTHER DESIGN AND CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTERS. THE OWNER AND THE CONTRACTOR CERTIFY THAT THEY HAVE REVIEWED THEM AND ARE IN AGREEMENT WITH THEIR CONTENTS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTERS.

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### DRAWING INDEX

1. COVER SHEET
2. SITE PLAN
3. FOUNDATION PLAN
4. FLOOR PLAN
5. PROPOSED ELEVATIONS
6. TYPICAL NOTES AND DETAILS
7. ELECTRICAL FLOOR PLAN
- 8.

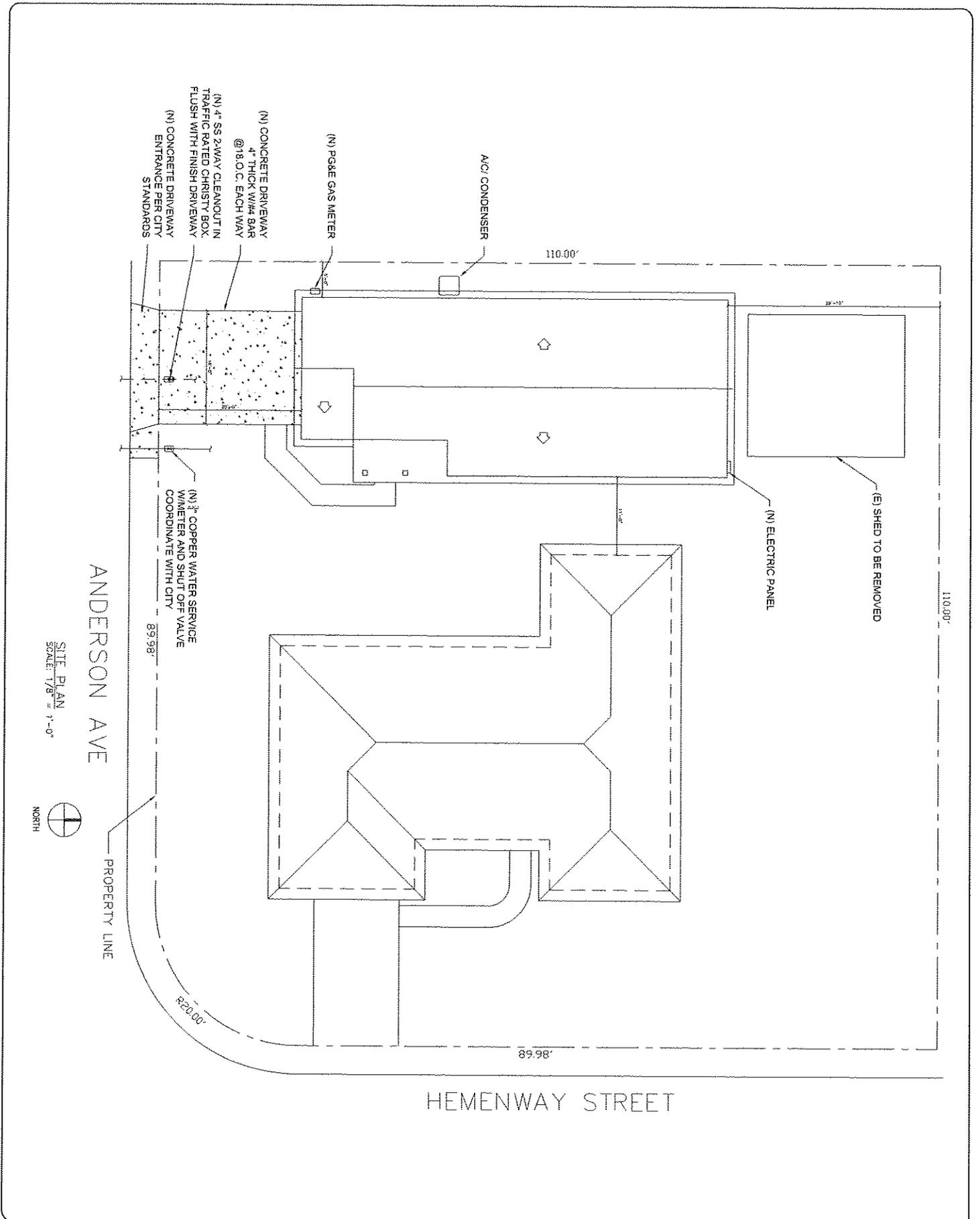
# ATTACHMENT A

DESIGN CRITERIA	YARD LOADS		STRUC. LAY. WOOD/CONC.	
	PSF	MIN. THICKNESS	PSF	MIN. THICKNESS
ROOF	20	1 1/2"	20	1 1/2"
FLOOR	40	2"	40	2"
CEILING	10	1 1/2"	10	1 1/2"
WALL	20	1 1/2"	20	1 1/2"
FOUNDATION	1000	12"	1000	12"
RETAINING WALL	1000	12"	1000	12"
WIND	115	15'	115	15'
SEISMIC	B	10%	B	10%
GROUND SLOPE	II		II	
DESIGN LOADS				
ROOF DEAD LOAD	12		12	
ROOF LIVE LOAD	20		20	
FLOOR DEAD LOAD	12		12	
FLOOR LIVE LOAD	40		40	
CEILING DEAD LOAD	10		10	
WALL DEAD LOAD	20		20	
WALL LIVE LOAD	20		20	
FOUNDATION	1000		1000	
RETAINING WALL	1000		1000	
WIND	115		115	
SEISMIC	B		B	
GROUND SLOPE	II		II	
TOTAL LOADS				

DESIGN NO.	007D-106
REV. 5-14-17	
REV. 1-8-18	
SHEET	1

SHEET REQUIRES FRONT COVER
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DESIGN NO.	007D-106
REV. 5-14-17	
REV. 1-8-18	
SHEET	1



SITE PLAN  
SCALE: 1/8" = 1'-0"



NOTES:  
THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ACCOMPANYING GENERAL BUILDING SPECIFICATIONS PREPARED BY DESIGN AMERICA, INC. ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO VERIFY ALL UTILITIES BEFORE CONSTRUCTION BEGINS.

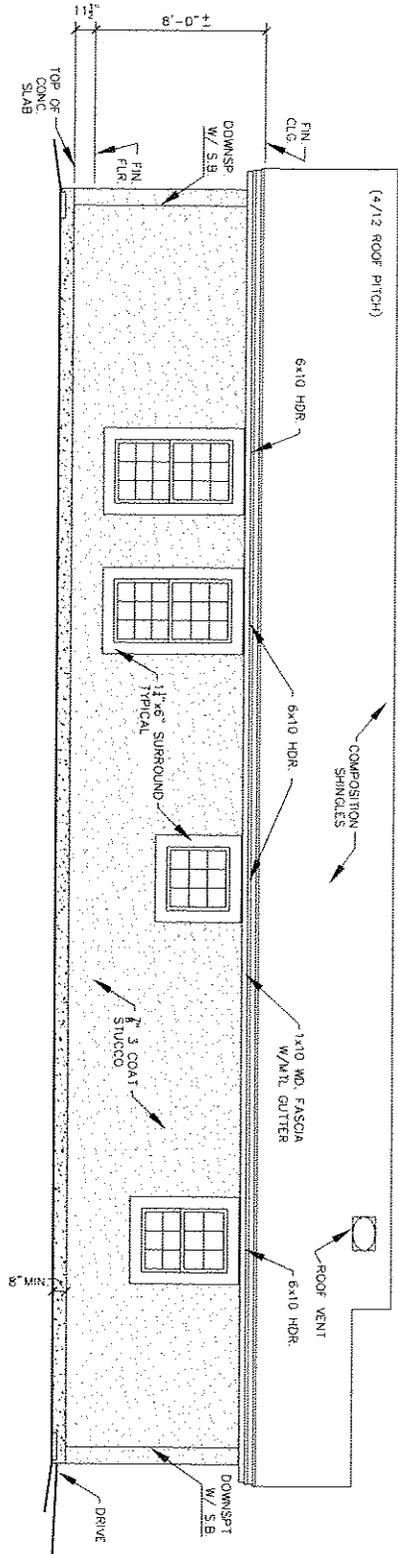
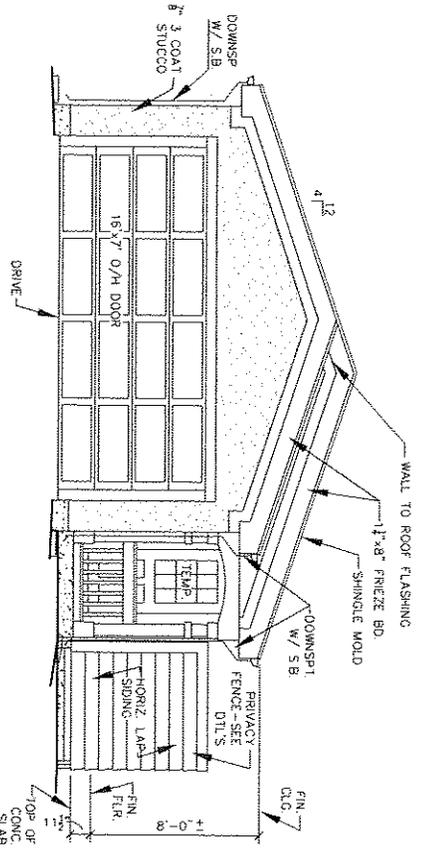
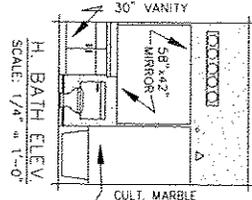
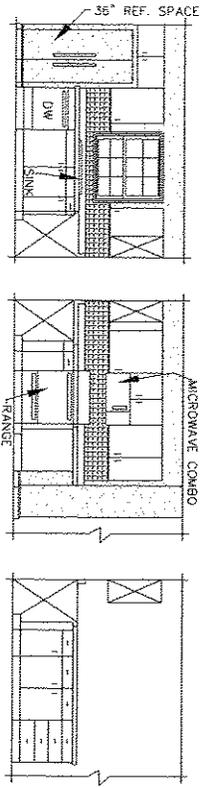
These drawings are not to be copied or reproduced without permission from Design America, Inc. © 2011

DESIGN CRITERIA	WIND LOADS		STRUCTURAL WOOD/STEAM	
	REV	DATE	REV	DATE
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	1.1	11/02/11	1.1	11/02/11
	1.2	11/02/11	1.2	11/02/11
	1.3	11/02/11	1.3	11/02/11
	1.4	11/02/11	1.4	11/02/11
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	1.7	11/02/11	1.7	11/02/11
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	1.9	11/02/11	1.9	11/02/11
	2.0	11/02/11	2.0	11/02/11
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	9.8	11/02/11	9.8	11/02/11
	9.9	11/02/11	9.9	11/02/11
	10.0	11/02/11	10.0	11/02/11

DESIGN NO. 00700108  
REV. 5-1-02  
REV. 1-4-10

SHEET INCLUDES SITE PLAN

2

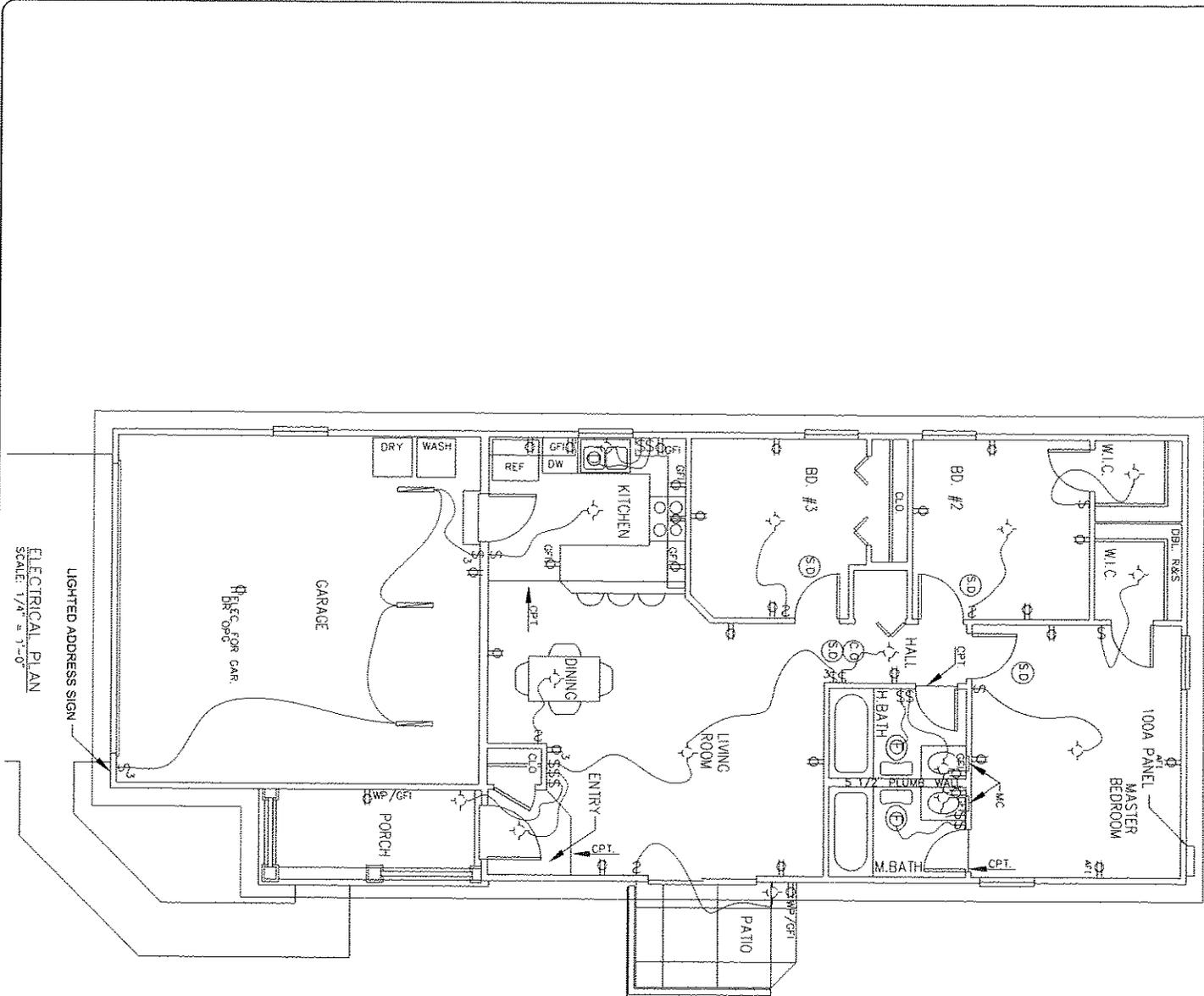


DESIGN CRITERIA	YACHTOWN		SILIC. LAY. WOOD SHIP	
	WIND	SEISMIC	WIND	SEISMIC
WIND SPEED (MPH)	100	100	100	100
WIND PRESSURE (PSF)	15.0	15.0	15.0	15.0
SEISMIC ZONE	2	2	2	2
SEISMIC COEFFICIENT	0.10	0.10	0.10	0.10
DESIGN LOADS	DEAD: 10 PSF LIVE: 40 PSF WIND: 15 PSF SEISMIC: 0.10			

NOTES:  
 THESE DRAWINGS ARE TO BE USED IN CONNECTION WITH THE ACCOMPANYING GENERAL BUILDING SPECIFICATIONS PREPARED BY DESIGN AMERICA, INC. ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.  
 1. Field drawings are not to be reproduced without written permission from Design America, Inc. © 2018

DESIGN NO. 007D-0108  
 REV. 6-21-07  
 REV. 1-2-18  
 SHEET 5





ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

1. ALL 15 & 20 AMP 125VOLT RECEPTACLES SHALL BE LISTED TAMPER RESISTANT TYPE

ELECTRICAL LEGEND

- ⊕ DOUBLE RECEPTACLE, 120V 15A, +18" A.F.F. U.O.N WITH ARC FAULT CIRCUIT INTERRUPTER
- ⊕ DOUBLE RECEPTACLE, 120V 15A, +18" A.F.F. U.O.N WITH GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ DOUBLE RECEPTACLE, 120V 15A, +18" A.F.F. U.O.N
- ⊕ QUAD RECEPTACLE, 120V 15A, +18" A.F.F. U.O.N
- ⊕ SWITCH 120V 20A SINGLE POLE SWITCH, +48" A.F.F. U.O.N.
- S<sub>3</sub> SWITCH 3-WAY 120V 20A +48" A.F.F. U.O.N.
- ⊕ R314. SMOKE DETECTOR
- R314.3 LOCATION, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- ⊕ R315. CARBON MONOXIDE DETECTOR, INSTALL IN EACH SLEEPING AREA MIN. ONE PER FLOOR AND IN BASEMENT.
- R315.12 ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- ~ ROMEX NM CABLE W/ MIN. (2) #12AWG CONDUCTORS AND (1) #12 GROUND, CONCEAL IN WALL, ABOVE CEILING OR RAISED FLOOR SPACES.
- INTERIOR LED LIGHT FIXTURE, MODEL T90, ALL FIXTURES TO BE HIGH EFFICACY TYPE.
- EXTERIOR LED LIGHT FIXTURE, WALL MOUNTED, PROVIDE UL WEATHERPROOF BOX, PROVIDE PHOTO CONTROL.
- INTERIOR LED LIGHT FIXTURE, MODEL T90, ALL FIXTURES TO BE HIGH EFFICACY TYPE.

DESIGN CRITERIA	YAKO LUMBER		STRUC. LUM. WOOD GRAM	
	PC	PA	PC	PA
DESIGN	100%	100%	100%	100%
LOADS	100%	100%	100%	100%
CONSTRUCTION	100%	100%	100%	100%
FINISHES	100%	100%	100%	100%

NOTES: THESE CHANGES ARE TO BE USED IN CONSTRUCTION OF THIS PROJECT. ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. SEE SHEET 8 FOR MORE DETAILS.

DESIGN NO. 077D-0708  
REV. 5-31-10  
REV. 5-13-17  
REV. 1-8-18

SHEET INCLUDES:  
ELECTRICAL PLAN

8

**800 Hemenway Street  
Design/Site Plan Review**

**CONDITIONS OF APPROVAL  
June 26, 2018**

1. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action or proceeding to attach set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, or any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employee, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.
2. Approval of the applicant's project shall be null and void if the applicant fails to submit a building permit for the project within one year (July 6, 2019) of Planning Commission approval or request and receives an extension from the Community Development Director.
3. The applicant shall pay all applicable taxes, fees, and charges at the rate and amount in effect at the time of such taxes, fees, and charges become due and payable.
4. All work within the public right-of-way or easement shall comply with the specifications of the City of Winters' Engineering Design and Construction Standards. An encroachment permit shall be required for all work performed in the public right-of-way.
5. The address number for the property shall be clearly visible from the street fronting the property. The address numbering shall be either four (4) inch illuminated numbers or six (6) inch non-illuminated numbers on contrasting background.

ATTACHMENT B

6. If not already installed, the applicant shall install a sewer lateral and cleanout that comply with the specifications of the City of Winters' Engineering Design and Construction Standards acceptable to the Public Works Director.
7. If not already installed, the applicant shall install a water lateral and meter that comply with the specifications of the City of Winters' Engineering Design and Construction Standards and in locations acceptable to the Public Works Director.
8. The applicant shall obtain all required City permits shall pay all applicable fees (building, impact, encroachment, etc.).
9. The applicant shall report to the City building materials diverted from landfill during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
10. The applicant shall provide the City with a proof of payment for Winters Joint Unified School District facility fees at building permit issuance.
11. Water used in the course of construction shall be metered and shall be at the cost adopted annually by the City Council.
12. The applicant shall provide for City review a plan to landscape the front yard of the proposed single-family residence, which includes a 15-gallon street tree. A final inspection for the single-family residence shall not be scheduled nor occupancy authorized until the front yard is landscaped and an approved street tree planted in the front yard.
13. Prior to submitting plans for a building permit the applicant shall revise the plans to show a brick veneer being added to each side of the garage door wrapping around the side of the garage leading to the front door and shall add divided windows/lites to the upper portion of the garage door.
14. A final inspection for the single-family residence shall not be scheduled nor occupancy authorized until the public improvements required for this project have been installed, inspected, and accepted by the Public Works Director.
15. Payment of City of Winters' monthly utility billing charges shall commence once the single-family residence has passed final inspection.





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners  
**DATE:** June 26, 2018  
**FROM:** David Dowswell, Contract Planner, Community Development Department  
**SUBJECT:** Public Hearing and consideration of Design/Site Plan Review (DR 2018-05) for a 910 foot second story addition and remodel of an existing 1,555 square foot home at 508 Abbey Street.

---

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Find the project Categorically Exempt from CEQA, New Construction or Conversion of Small Structures, Section 15303(a) single family home.
- 4) Approve Design/Site Plan Review for a 910 square foot second story addition and remodel to an existing one story 1,555 square foot home.

**GENERAL PLAN LAND USE DESIGNATION:** The General Plan land use designation for the site is Low Density Residential (LR).

**SURROUNDING LAND USES, ZONING AND SETTING:** The property is zoned Single Family Residential (R-1). The surrounding land uses and zoning are as follows:

North: Single Family – Single Family Residential (R-1)  
South: Orchard – Unincorporated County  
East: Single Family – Single Family Residential (R-1)  
West: Single Family – Single Family Residential (R-1)

The site is developed with an 832 square foot single family home.

**BACKGROUND:** The existing house was completed in April of 1989. In 1992 the current General Plan was adopted recommending there be a 50 foot creek setback

from top of bank for Dry Creek. At some point after adopting the new General Plan the Zoning Ordinance was amended to require there be a 50 foot setback from the top of bank for Dry Creek. The existing home is located 25 feet from the top of bank. As a result because the house is located within the required setback it is considered nonconforming.

On May 22, 2018 the majority of the Planning Commission voted to recommend that the City Council approve amending Chapter 17.104 (Nonconforming Uses, Structures and Lots) of the Municipal Code (Zoning Ordinance) allowing additions to nonconforming structures that did not increase the discrepancy between the existing conditions and standards for the district.

On June 19, 2018 the City Council voted to amend Chapter 17.104 of the Zoning Ordinance to allow additions to nonconforming structures that did not increase the discrepancy between the existing conditions and standards for the zoning district. The second reading of the Ordinance 2018-03 will be at the July 17, 2018 Council meeting. Thirty days after, or August 16, the amendment to Chapter 17.104 will become law.

**PROJECT DESCRIPTION:** The applicants, Phoebe and Nick Girimonte, are requesting approval to add a 910 square foot second story addition to an existing one story 1,555 square foot three-bedroom single family home. The addition will include two new bedrooms, laundry room, bathroom and family room. The lower floor is also being remodeled (Attachment A).

The exterior of the addition will match the existing house board and batt siding. The roof and exterior colors will also match the existing house.

**ANALYSIS:**

Site Plan: The proposed addition will vertically extend the existing house walls. No change to the setbacks will be made. Based on the change to Chapter 17.104 approved by the City Council the proposed addition would be existing allowed without the need for a Variance. A condition is being placed on the approval prohibiting issuing of a building permit until the effective date of Ordinance 2018-03 (August 16, 2018) amending Chapter 17.104

Design: The proposed addition will match the design and finish of the existing house. No changes to the design are recommended by staff.

**PROJECT NOTIFICATION:** Two methods of public notice were used: (1) a legal notice was published in the Winters Express on Thursday, June 14, 2018 and (2) notices were mailed to all property owners within three hundred feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review on the City's web site and at City Hall beginning June 21, 2018.

**ENVIRONMENTAL ASSESSMENT:** The addition and remodel are Categorically Exempt, Section 15303(a) (New Construction or Conversion Small Structures) of the California Environmental Quality Act (CEQA).

**General Plan and Zoning Consistency Findings:**

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential and this designation provides for single-family detached and attached homes. The project will enhanced the livability of the existing single-family residence.
2. The project is consistent with the provisions of the Zoning Ordinance. The principal uses of the R-1 Zone are single-family homes and duplexes. The proposed addition is to a single family home.

**RECOMMENDATION:** Should the Planning Commission decide to approve the project, staff recommends that the Commission make an affirmative motion as follows:

**I MOVE THAT THE WINTERS PLANNING COMMISSION APPROVE DESIGN REVIEW 2018-05 FOR A 910 SQUARE FOOT ADDITION TO THE HOME AT 508 ABBEY STREET BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:**

- Confirmation of exemption from the provisions of CEQA.
- Confirmation of consistency findings with the General Plan and Zoning Ordinance.
- Approval of the Design/Site Plan of the project as depicted on the plans submitted and subject to the conditions of approval attached hereto.

**ALTERNATIVES:** The Commission can elect to modify any aspect of the approval or to deny the application. If the Commission chooses to deny the application, staff would need to prepare findings for the Commission adopt at the next meeting. The findings would need to illustrate the reasoning behind the decision to deny the project.

**ATTACHMENTS:**

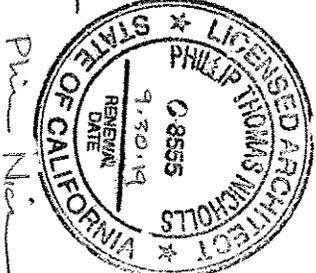
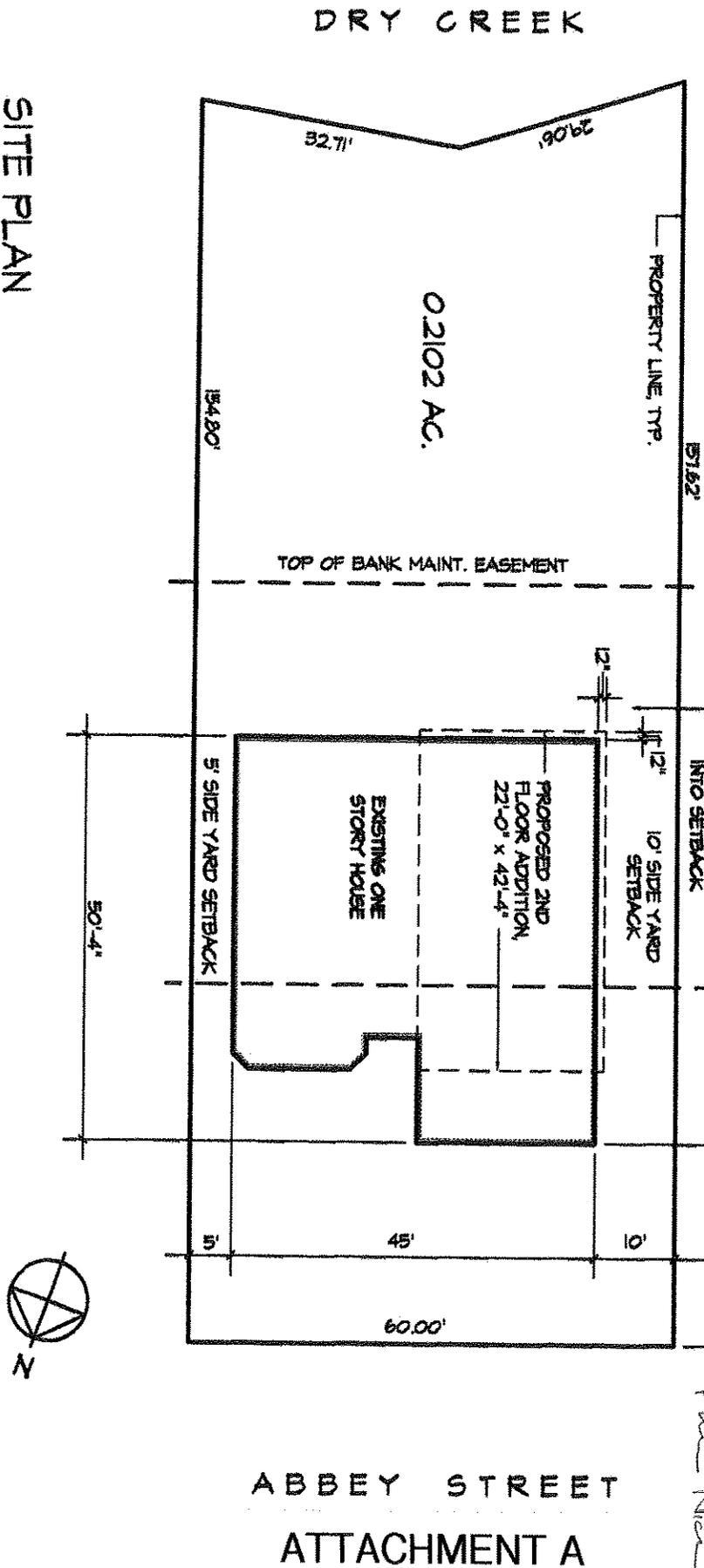
- A. Site plan and elevations
- B. Conditions of approval

**PROPOSED ALTERATIONS AND ADDITION TO GIRIMONTE RESIDENCE**  
**508 ABBEY STREET**  
**WINTERS, CALIFORNIA**

EXISTING HOUSE, 1595 SQ. FT.  
 PROPOSED SECOND FLOOR ADDITION, 423 SQ. FT.  
 TOTAL AREA, 2488 SQ. FT.

NOTE: GROUND FLOOR FOOTPRINT OF  
 EXISTING HOUSE DOES NOT CHANGE

CURRENT 50' BLDG. SETBACK  
 FROM TOP OF BANK, NOT IN  
 EFFECT AT TIME OF CONSTRUCTION

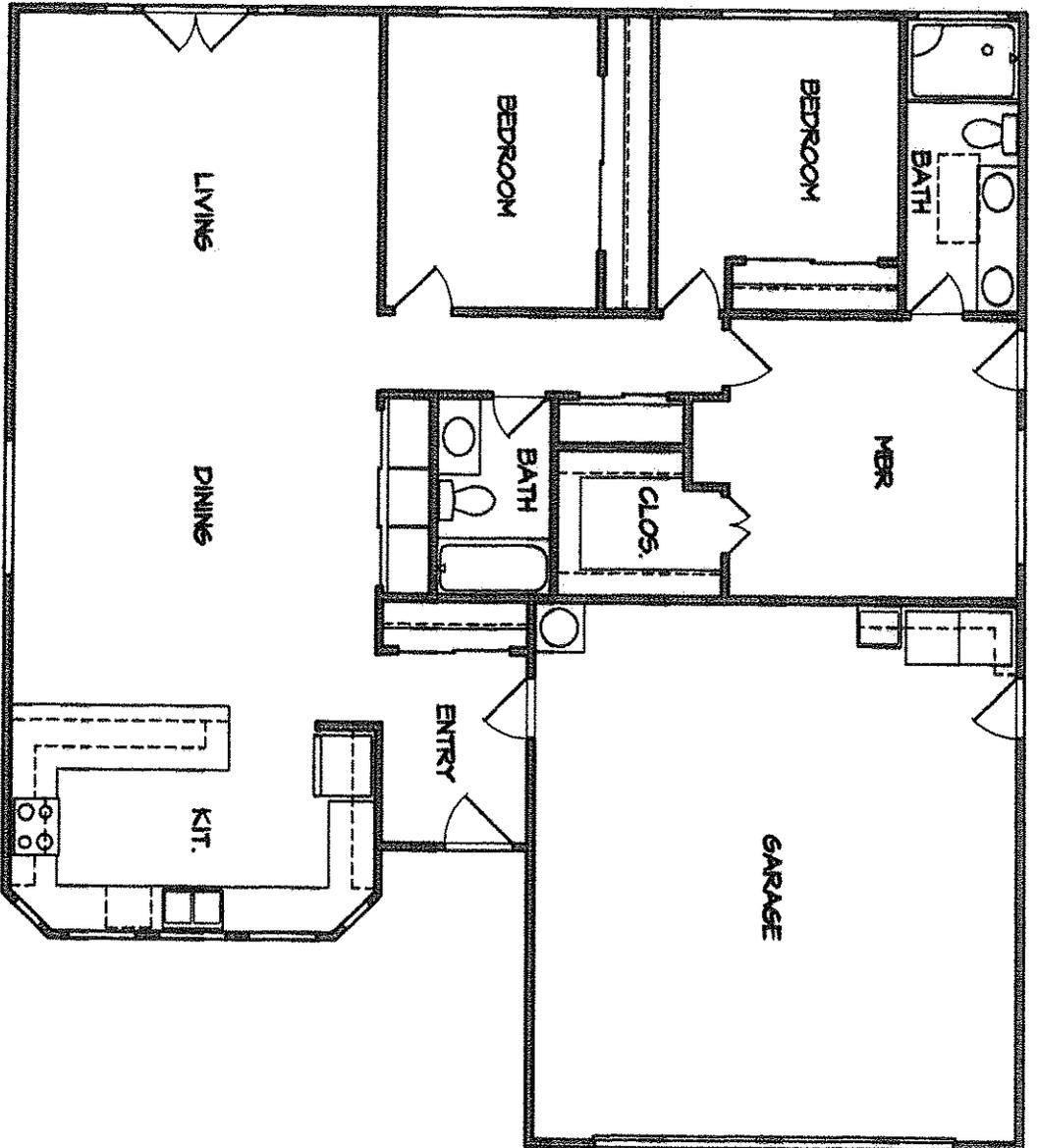


ABBAY STREET  
 ATTACHMENT A

SITE PLAN

PHILLIP T. NICHOLLS, ARCHITECT

MAY 22, 2018



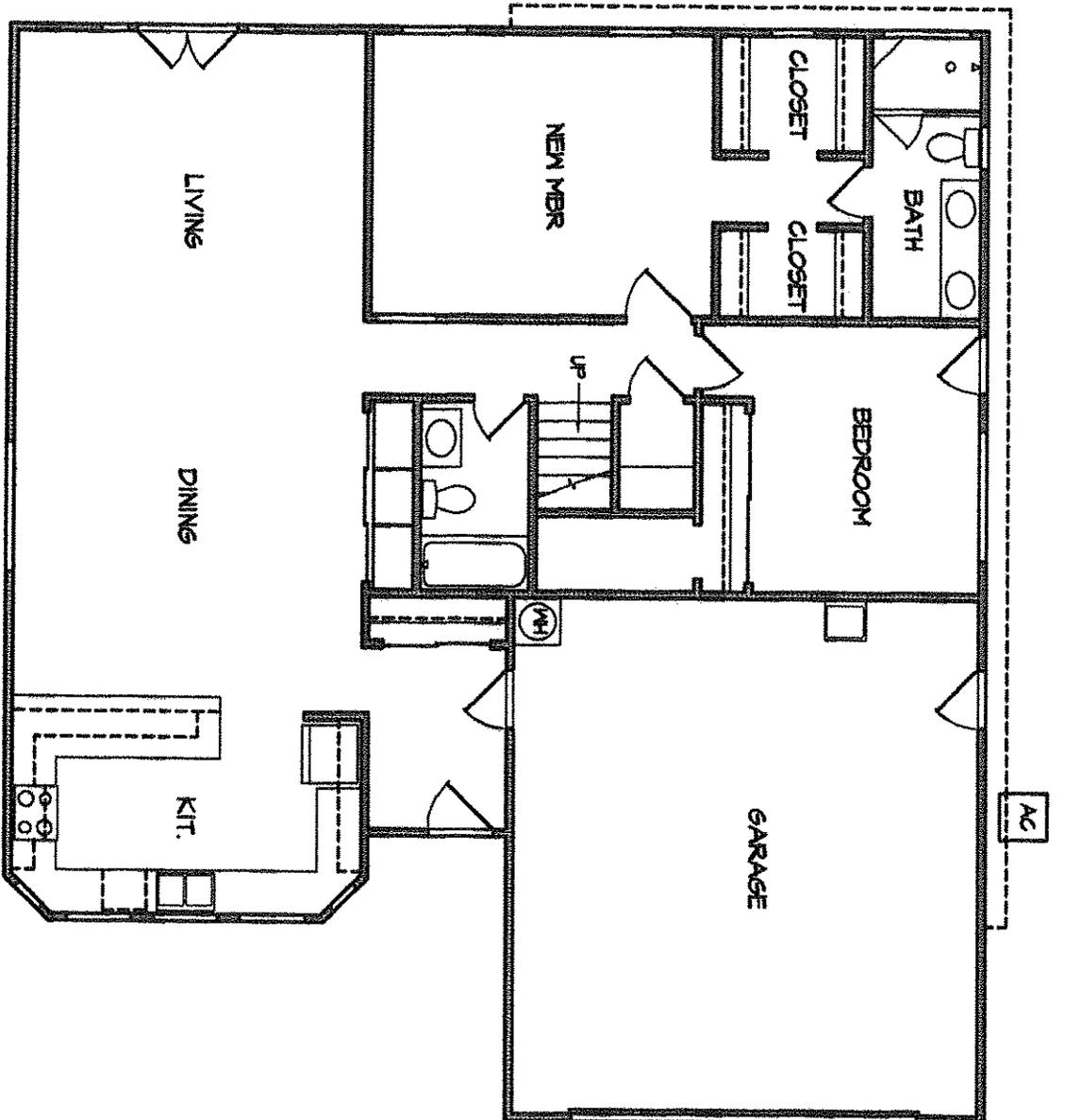
EXISTING FLOOR PLAN



1/8" = 1'-0"

PHILLIP T. NICHOLS, ARCHITECT

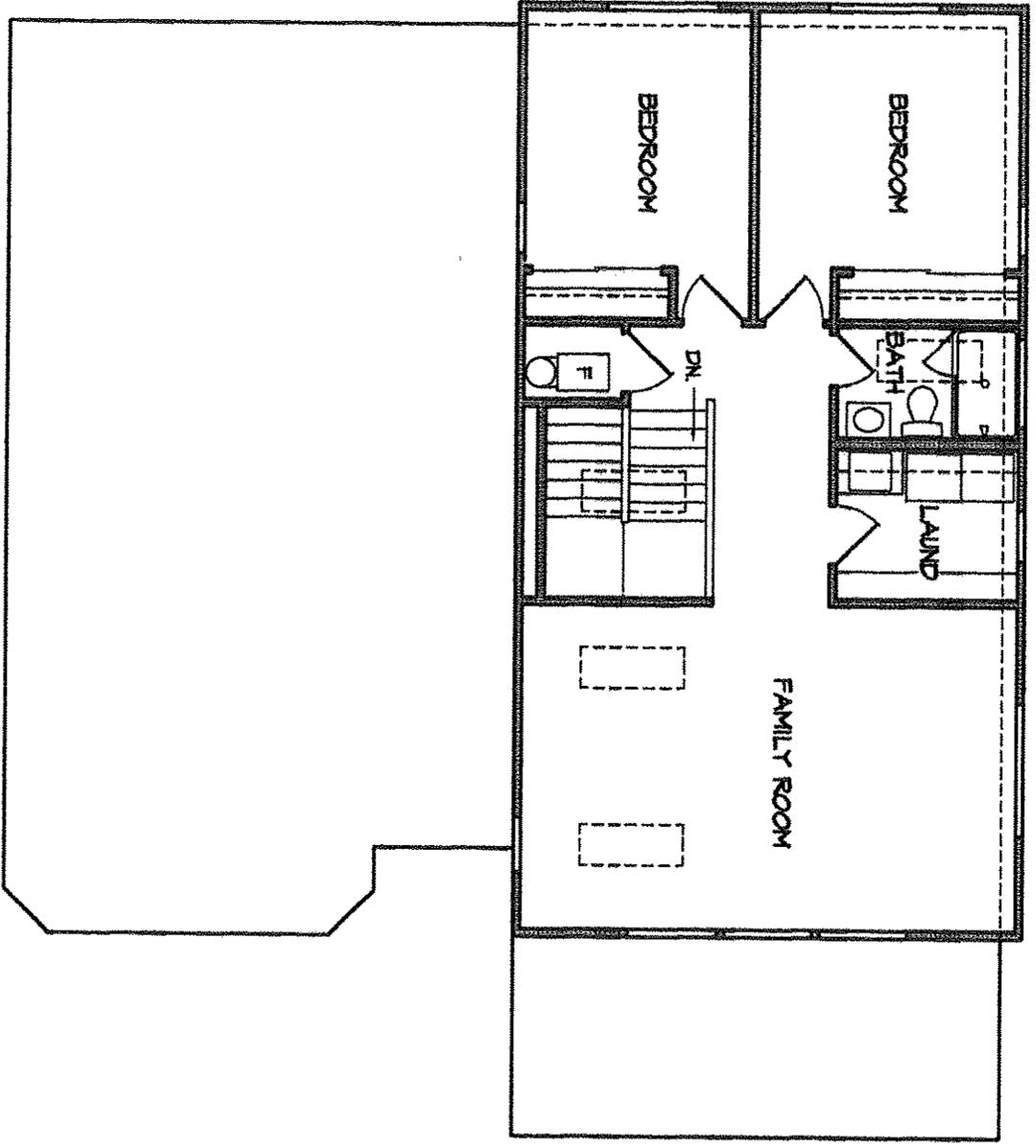
MAY 22, 2018



NEW GROUND LEVEL FLOOR PLAN



1/8" = 1'-0"



NEW UPPER LEVEL FLOOR PLAN

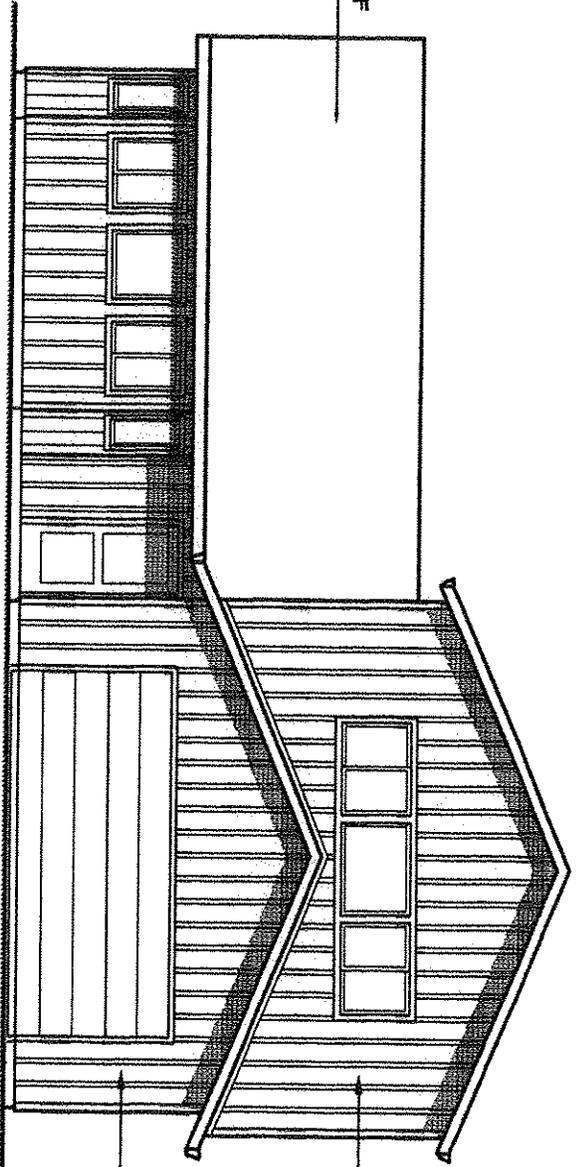


1/8" = 1'-0"

PHILLIP T. NICHOLLS, ARCHITECT

MAY 22, 2018

EXISTING ROOF  
TO REMAIN



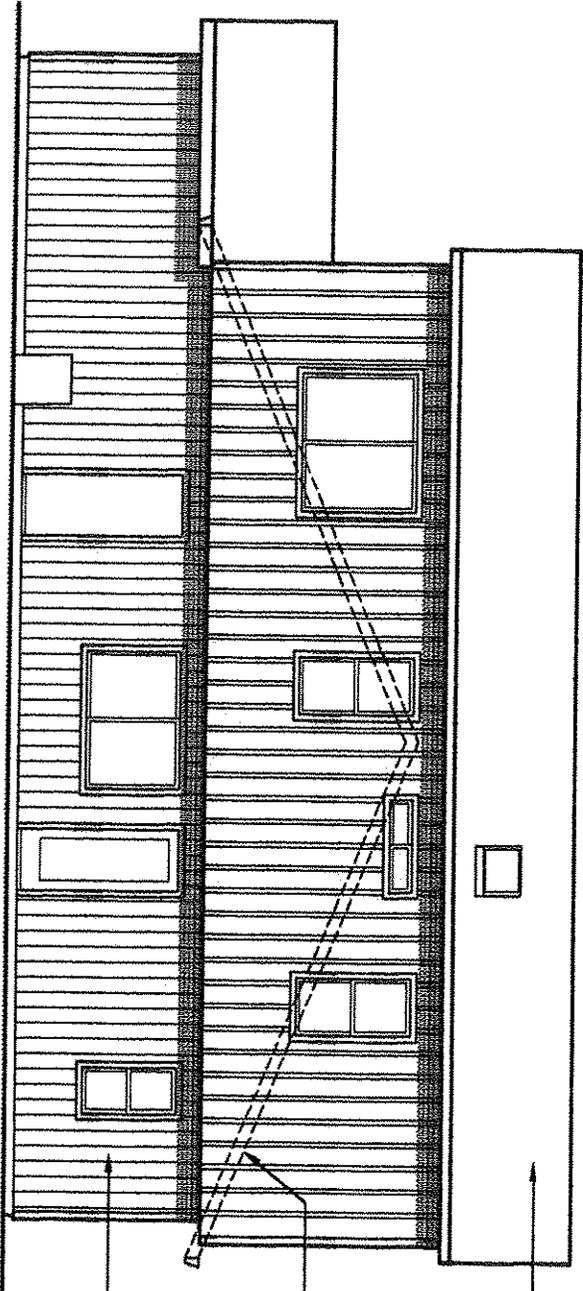
### NORTH ELEVATION

1/8" = 1'-0"

NEW CHARCOAL GRAY  
COMP. SHINGLES TO MATCH  
EXISTING

OUTLINE OF EXISTING  
ROOF TO BE REMOVED

EXISTING SIDING TO  
REMAIN



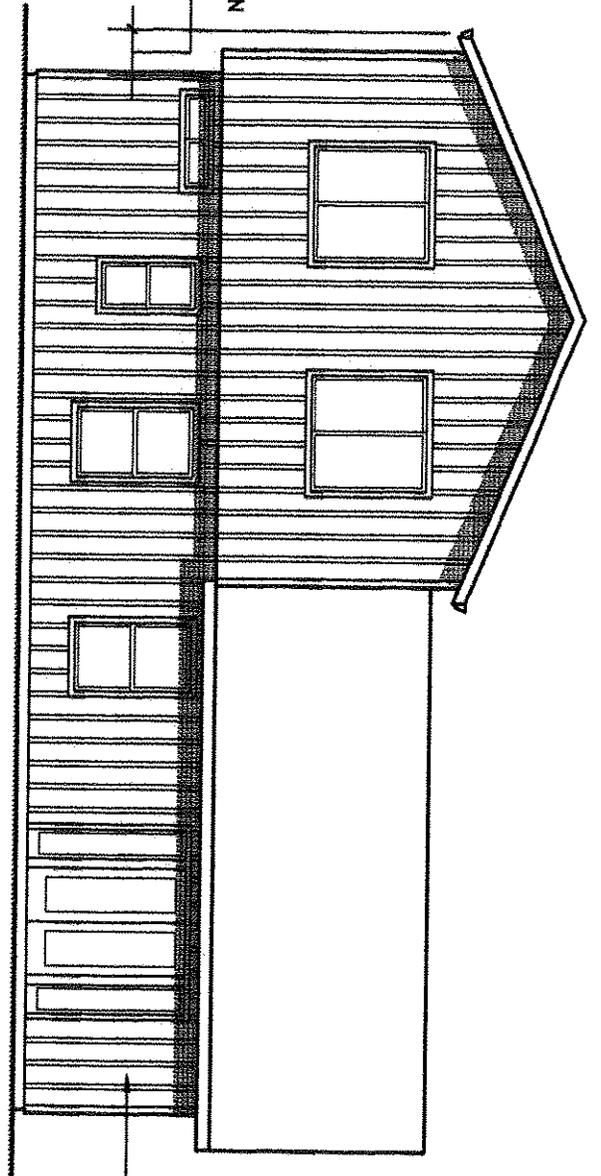
### WEST ELEVATION

1/8" = 1'-0"

PHILLIP T. NICHOLLS, ARCHITECT

MAY 22, 2018

ARCHITECTURAL PROJECTION  
NOT TO EXCEED 24" INTO  
BUILDING SETBACK



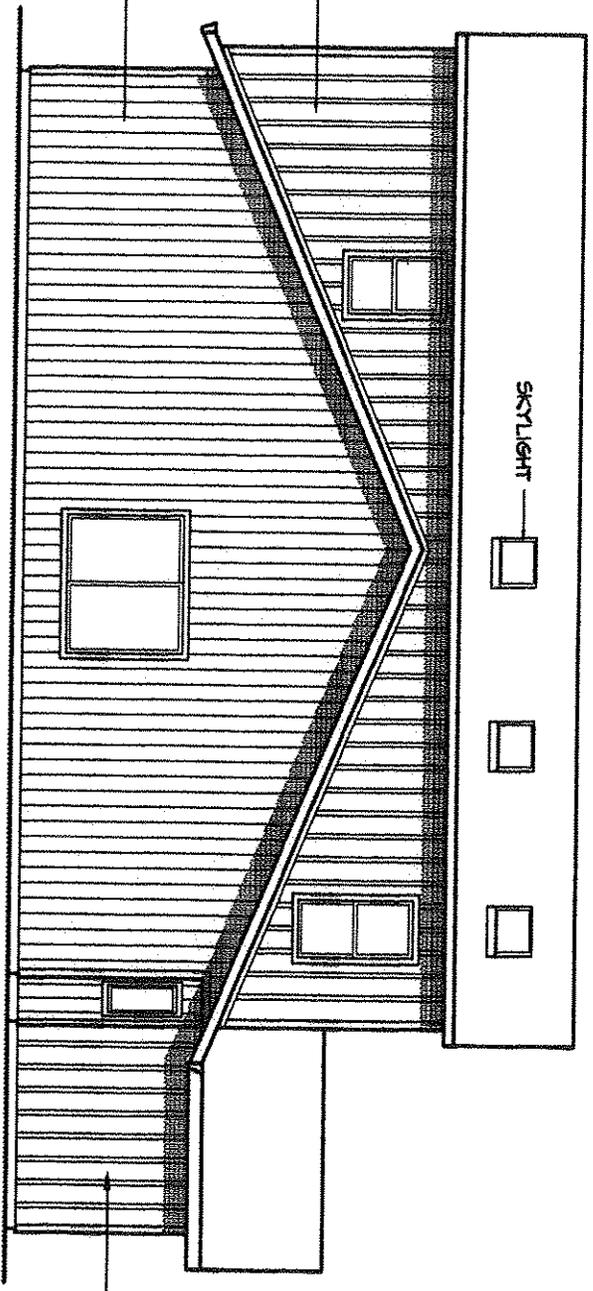
EXISTING SIDING TO  
REMAIN

### SOUTH ELEVATION

1/8" = 1'-0"

NEW BOARD AND BATT  
SIDING PAINTED WHITE  
TO MATCH EXISTING  
BOARD AND BATT  
SIDING

EXISTING SIDING TO  
REMAIN



SKYLIGHT

EXISTING SIDING TO  
REMAIN

### EAST ELEVATION

1/8" = 1'-0"

PHILLIP T. NICHOLLS, ARCHITECT

MAY 22, 2018

**508 Abbey Street (APN 003-402-009)  
Design/Site Plan Review 2018-05**

**CONDITIONS OF APPROVAL  
June 26, 2018**

1. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action or proceeding to attach set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, or any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employee, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.
2. Approval of the applicant's project shall be null and void if the applicant fails to submit a building permit for the project within one year (July 6, 2019) of Planning Commission approval or request and receives an extension from the Community Development Director.
3. The applicant shall pay all applicable taxes, fees, and charges at the rate and amount in effect at the time of such taxes, fees, and charges become due and payable.
4. All work within the public right-of-way or easement shall comply with the specifications of the City of Winters' Engineering Design and Construction Standards. An encroachment permit shall be required for all work performed in the public right-of-way.
5. The address number for the property shall be clearly visible from the street fronting the property. The address numbering shall be either four (4) inch illuminated numbers or six (6) inch non-illuminated numbers on contrasting background.

**ATTACHMENT B**

6. The addition shall be designed to be consistent with the plans included with the staff report date June 26, 2018.
7. The applicant shall provide the City with a proof of payment for Winters Joint Unified School District facility fees at building permit issuance.
8. The applicant shall obtain all required City permits shall pay all applicable fees (building, impact, encroachment, etc.).
9. The applicant shall report to the City building materials diverted from landfill during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
10. Building permits shall not be issued until after August 16, 2018, the effective date of Ordinance 2018-03 allowing expansion of nonconforming structures.





**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Chair and Planning Commissioners  
**DATE:** June 26, 2018  
**FROM:** Dave Dowswell, Contract Planner, Community Development Department   
**SUBJECT:** Public Hearing and Consideration of Design/Site Plan Review 2018- 04 for Phase 1 (5 lots) of Olive Grove.

---

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Design/Site Plan Review for the Olive Grove Subdivision Phase 1 Models.

**BACKGROUND:** On April 25, 2017 Chris Williams (applicant) submitted a revised Tentative Map for the Olive Grove Subdivision, formerly the Valdez Subdivision.

On May 23, 2017 the Planning Commission considered the revised Tentative Map. At the conclusion of the hearing the Planning Commission recommended the City Council approve the revised Tentative Map application.

On June 13, 2017 the Planning Commission considered the Inclusionary Housing Plan. The Planning Commission voted unanimously to recommend the City Council approve the proposed Inclusionary Housing Plan for the Olive Grove Subdivision. The City Council approved the Inclusionary Housing Plan and revised Tentative Map for Olive Grove Subdivision on July 18, 2017.

**PROJECT DESCRIPTION:** The applicant, Chris Williams, is applying for Design/Site Plan Review for 5 single family homes located along Hemenway Street (Phase 1) of the Olive Grove Subdivision. The Planning Commission will take final action on the project unless appealed to the City Council.

The entire project site is 4.21 acres; it is General Planned Medium Density Residential (MR) and zoned Single-Family Residential (R-2). The site is located off Hemenway Street and Apricot Avenue between the cemetery and the high school. Apricot Avenue, which currently is a dead end, will be completed as part of Phase 2.

There are three model homes for the five lots. The design of the homes are somewhat contemporary with the one home, which is a variation of the home built at 437 Russell Street by Don Jordan, being somewhat of a "Craftsman" style. One plan is one story and the other two are two story. The plan used by Don Jordan only has a dormer on the one side which helps with privacy.

The building facades include: horizontal siding on all four sides of the Don Jordan design with a composition roof (720 and 724 Hemenway Street), stucco and wood siding combination with a metal roof (736 Hemenway Street) and stucco with a composition roof (722 and 726 Hemenway Street). The plans do not indicate what the size of the trim or type of material, size of fascia boards and what the type of vertical siding will be used. All three plans show the windows will have grids except for the bathrooms and sliding doors. No landscaping or fencing plan has been submitted.

**DESIGN/SITE PLAN REVIEW:** Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects (guidelines) for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

**ANALYSIS:** The design of the homes in the immediate area is somewhat eclectic. The house to the south, which is a large custom home, has a stucco finish with a tile roof. To the north and east are homes with horizontal and vertical siding with composition roofs. Overall with the three models will have a diversity of exterior finishes consistent with the immediate neighborhood. The following changes regarding the design of the model homes is based on staff's review using the above guidelines:

1. Plans for 722 and 726 Hemenway Street. To help break up the flatness of the right and left elevations add horizontal siding to the gable ends.
2. Plans for 736 Hemenway Street. It is not clear if the wainscot veneer is being wrapped around left and right elevation to where it intersects the side yard fences; it should be if it is not.
3. Plans for 722, 726 and 736 Hemenway Street. Add windows/lites to the upper row of the garage doors similar to the garage door for Plans for 720 and 724 Hemenway Street.

**Landscaping and Fencing** – The City requires all new homes to provide front yard landscaping with an irrigation system and perimeter fencing. The applicant has requested deferral of this item at this hearing. Staff recommends staff be allowed to approve the landscaping and fencing administratively. Fencing shall be designed as a wood “good neighbor” fence. Recommend using steel posts faced with wood to reduce long-term maintenance costs.

**PROJECT NOTIFICATION:** Two methods of public notice were used: (1) a legal notice was published in the Winters Express on 06/14/18 and (2) notices were mailed to all property owners who own real property within three hundred feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 06/21/18.

**ENVIRONMENTAL ASSESSMENT:** A Mitigated Negative Declaration and Mitigation Monitoring Plan were adopted by the Winters City Council on 09/02/08 as part of the General Plan Amendment and Rezone approved by the City Council for the 1.42 acre parcel adjacent to the cemetery. The revised tentative map is consistent with the 2008 approval, therefore, no additional environmental review is necessary.

**ALTERNATIVES:** The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

## **RECOMMENDED FINDINGS FOR OLIVE GROVE SUBDIVISION PHASE 1 – SITE PLAN/DESIGN REVIEW**

### CEQA Findings:

- 1) The proposed project (design review of model homes) is exempt from review under the California Environmental Quality Act (CEQA) Guidelines, Section 15061.

### Design Review Findings:

- 1) The proposed project’s overall visible massing, which includes height, roofline

profiles and overall scale of the building meets the intent of the Winters Design Guidelines.

- 2) The proposed project's use of quality of exterior construction materials is compatible with the general setting of the subject property and visual character of the general neighborhood.
- 3) The proposed project avoids the use of large, blank or unbroken wall planes and architectural detailing such as shadow lines, etc. which generally lack interest.
- 4) The proposed project provides effective use of screening of ground mounted equipment.
- 5) The proposed project provides effective use of landscaping, which provides effective softening of the development.
- 6) The proposed project achieves conformity with the Winters Design Guidelines.

**RECOMMENDATION:** Staff recommends approval of the Site Plan/Design Review by making an affirmative motion as follows:

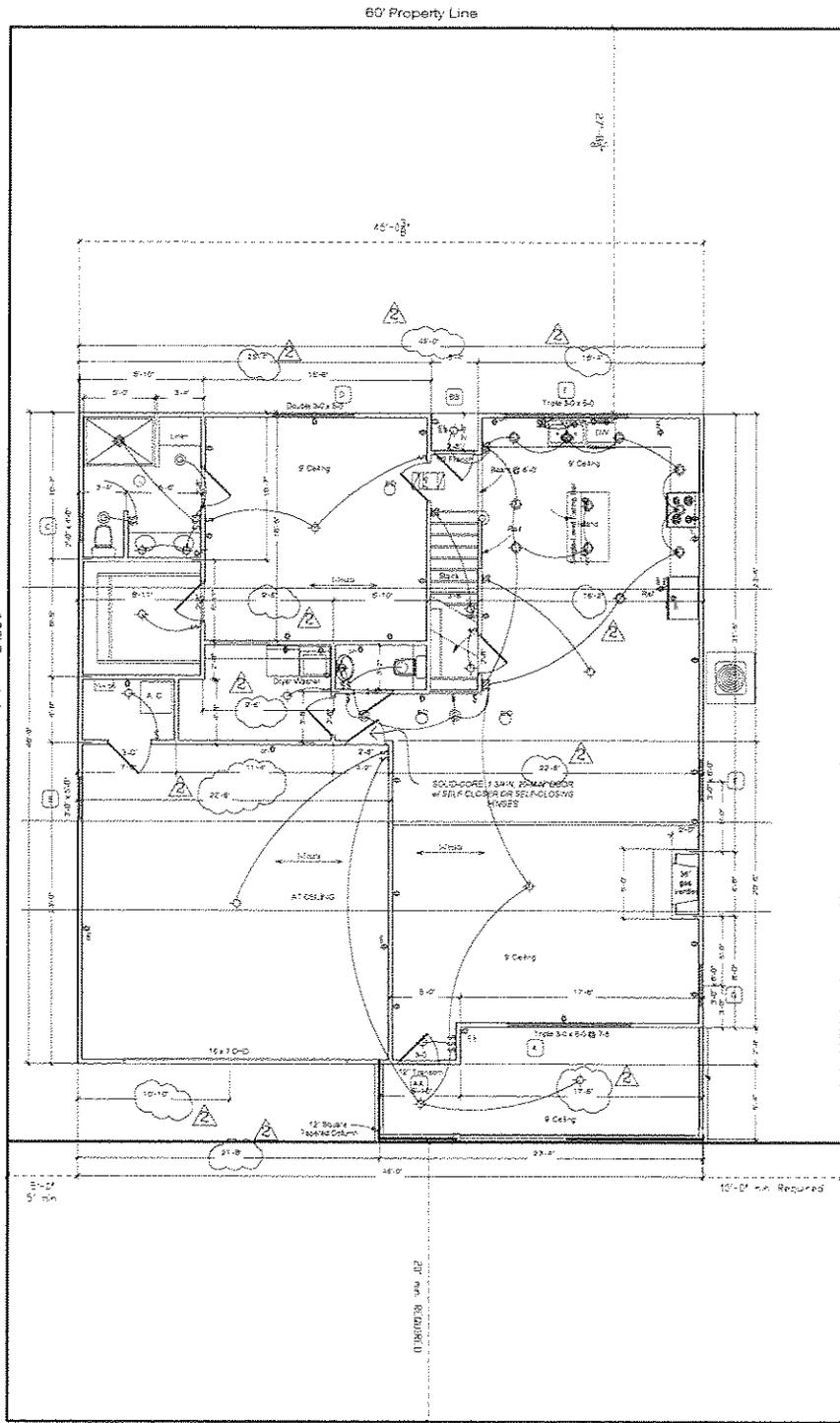
**I MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION APPROVE DESIGN REVIEW/SITE PLAN FOR THE OLIVE GROVE SUBDIVISION PHASE 1 BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:**

- Confirmation of exemption from the provisions of CEQA.
- Approve Design Review/Site Plan subject to the conditions of approval attached hereto.

**ATTACHMENTS:**

- A. Site Plan and Elevations
- B. Conditions of Approval

# ATTACHMENT A



HEMENWAY ST.

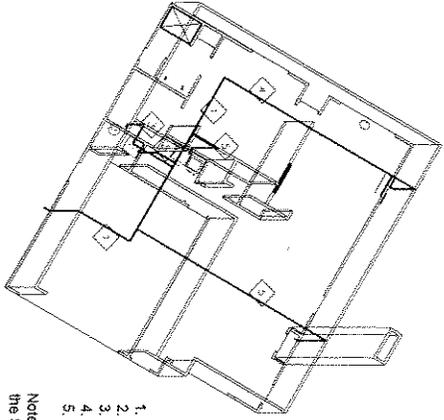
a1.0

Site Plan  
Scale: 1/4" = 1'-0"

CAW Development  
417 Main Blvd. Ste. J # 115, DAVIS, CA 95618

720 HEMENWAY ST.  
WINTERS, CA. 95694

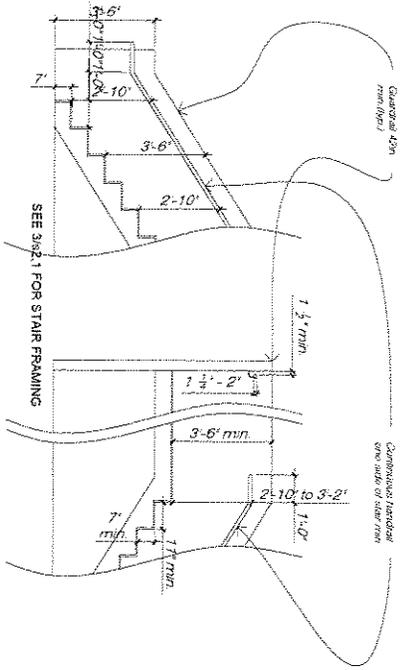




**GAS PIPING  
ISOMETRIC KEYNOTES**

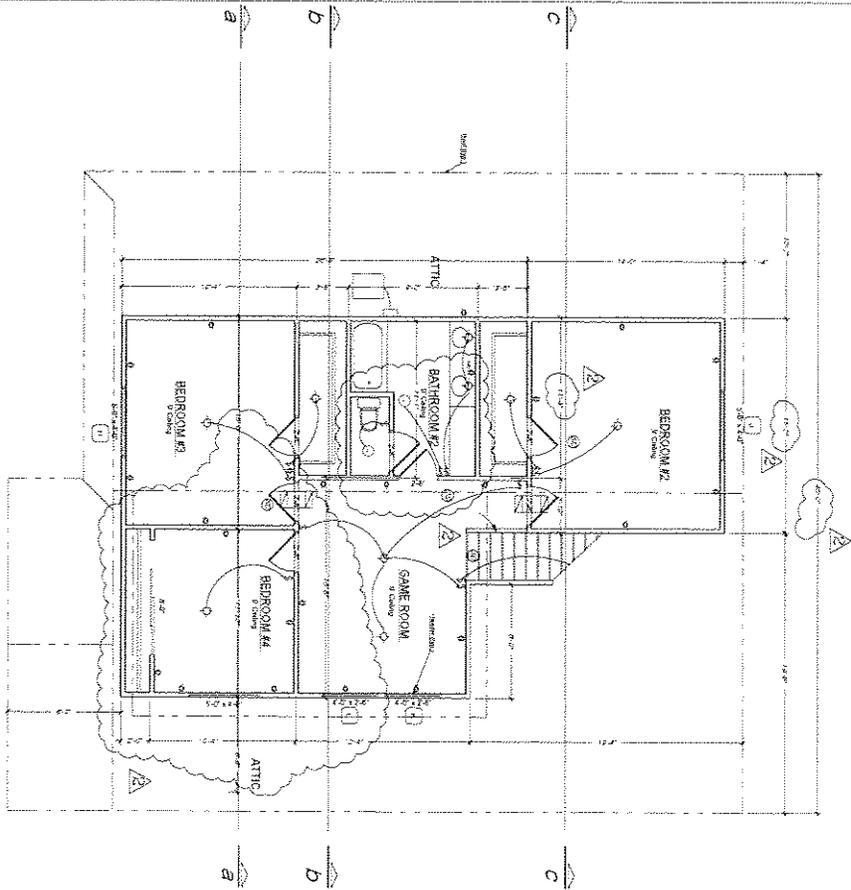
1. GAS SERVICE ENTRANCE & METER
2. 1 1/4" Ø BLACK STEEL PIPE
3. 1" Ø BLACK STEEL PIPE
4. 3/4" Ø BLACK STEEL PIPE
5. 1/2" Ø BLACK STEEL PIPE

Note: Gas supply is run in interstitial space of the Second Floor framing.



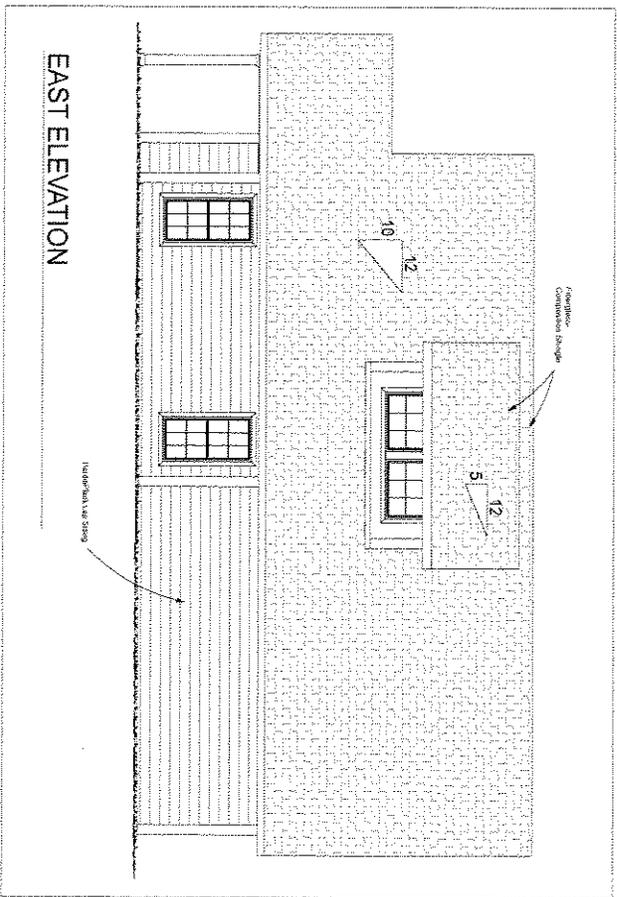
**HANDRAIL GUARDRAIL + STAIR  
DETAILS:**

SEE 302.1 FOR STAIR FRAMING

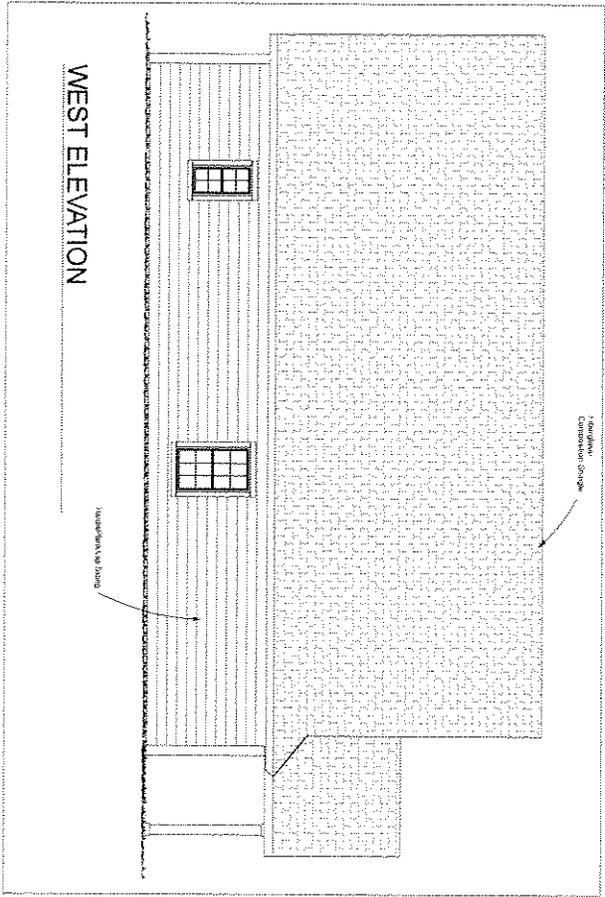


**2nd Floor Plan**

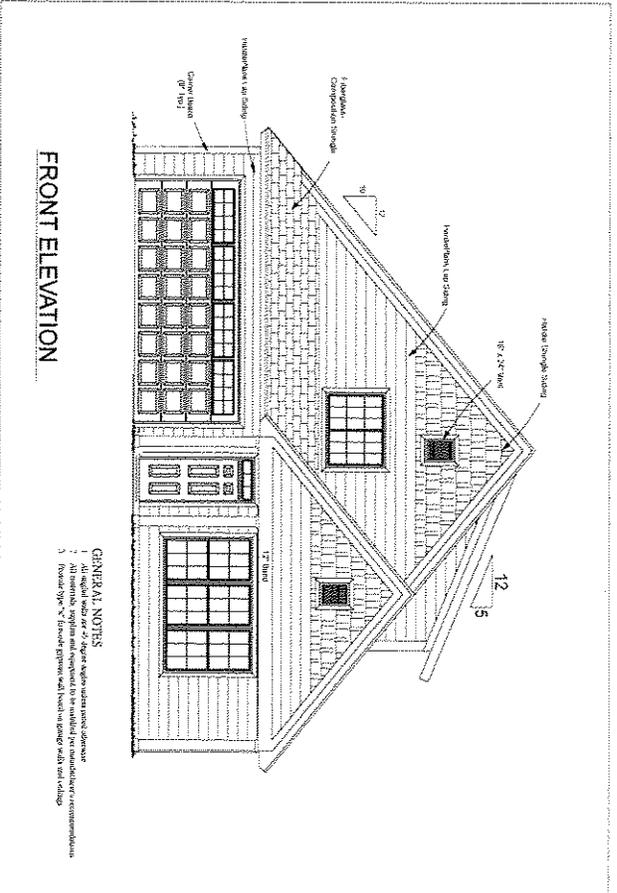
<p><b>2.1</b></p>	<p><b>Second Floor Plan</b></p>	<p><b>Albert Vallecillo</b> 210 Main St. Winters, California 95694 530 902 6242</p>
<p><b>REVISED:</b> DATE: 12/15/2018 BY: JEN PARRISH</p>		
<p><b>PROJECT:</b> SPEC. HOUSE Don Jordan Construction, Inc. 718 Hemerway St. Winters, CA Winters, California 95694 530 795 8280 APN: 003-182-071-000</p>		



EAST ELEVATION

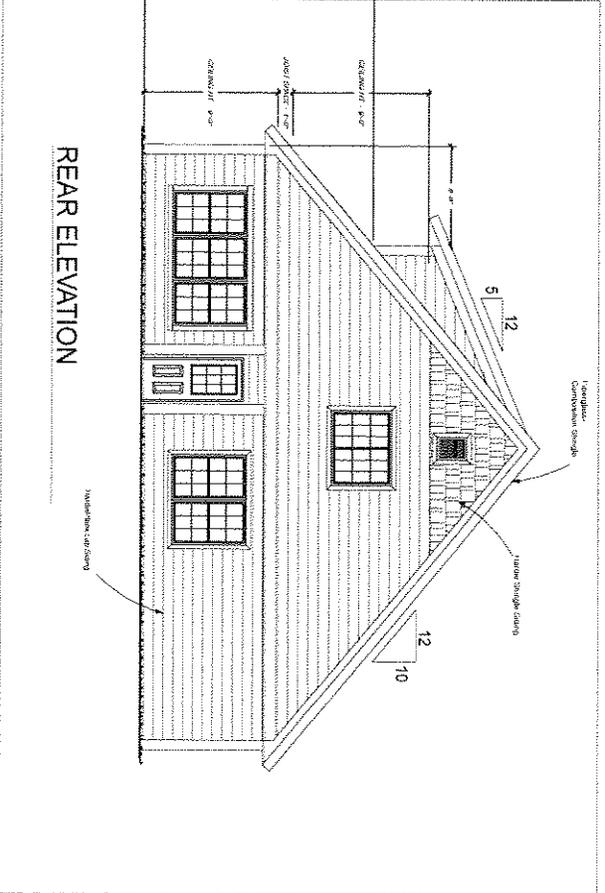


WEST ELEVATION



FRONT ELEVATION

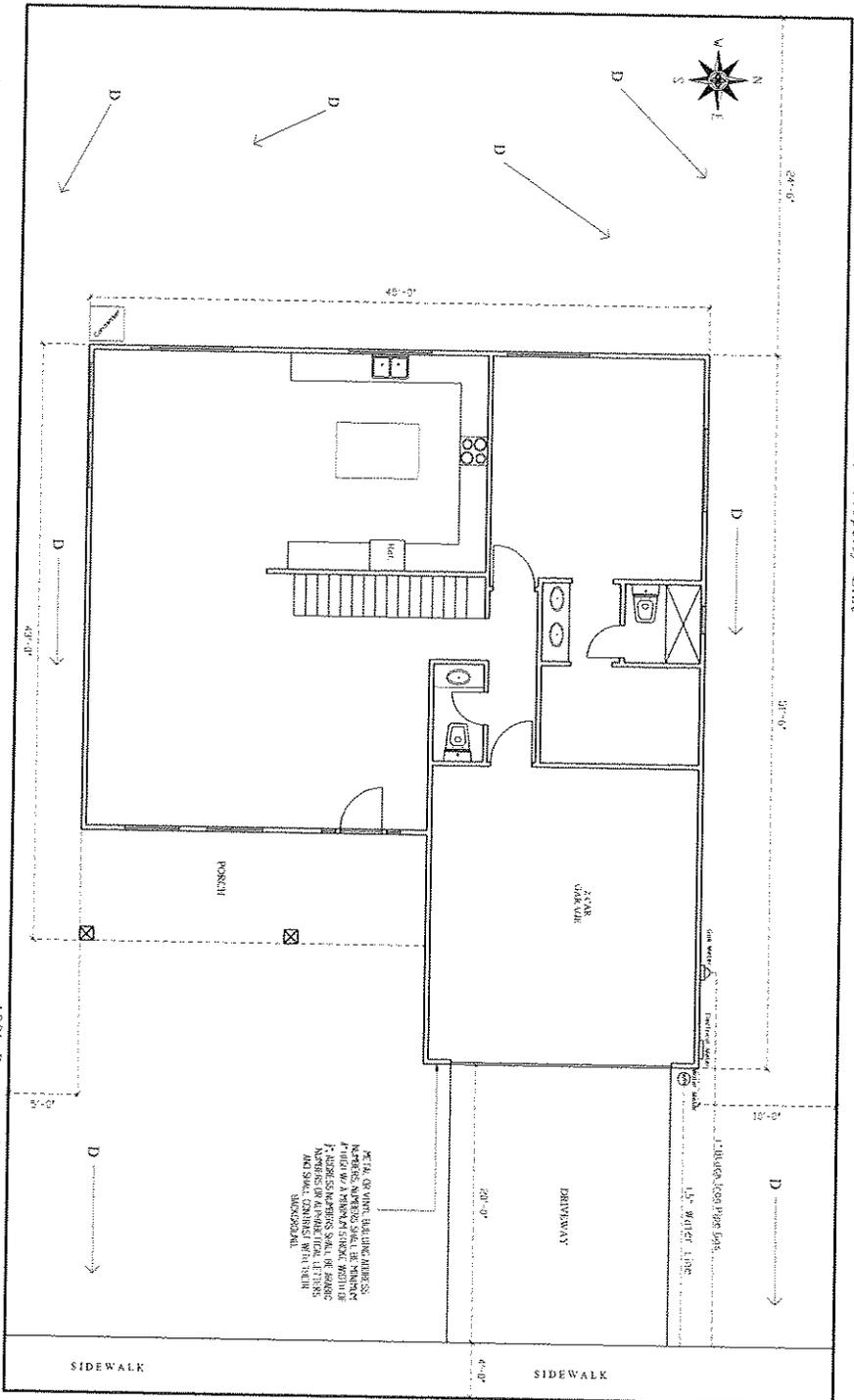
**GENERAL NOTES**  
 1. All heights noted are to upper edge unless noted otherwise.  
 2. All materials, finishes and equipment to be installed per manufacturer's recommendations.  
 3. Finishes are "V" unless otherwise noted based on project specifications.



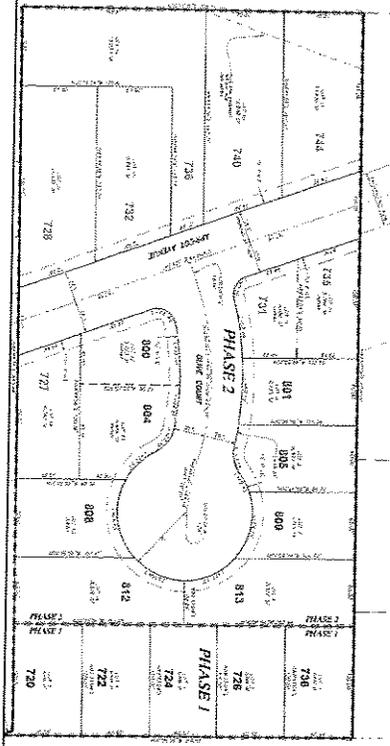
REAR ELEVATION

60' Property Line

100' Property Line



NOTE: ALL VINTAGE BUILDING NUMBERS, ADDRESS NUMBERS SHALL BE MINIMUM 4" HIGH. ADDRESS NUMBERS SHALL BE PLACED ON EITHER SIDE OF THE BUILDING. ADDRESS NUMBERS ON ALTERNATE WALLS SHALL BE PLACED ON THE OTHER SIDE OF THE BUILDING. ADDRESS NUMBERS SHALL BE PLACED ON THE OTHER SIDE OF THE BUILDING.



SITE PLAN  
1" = 1'-0"

Hemenway St

726 Hemenway St  
Winters, Ca. 95694

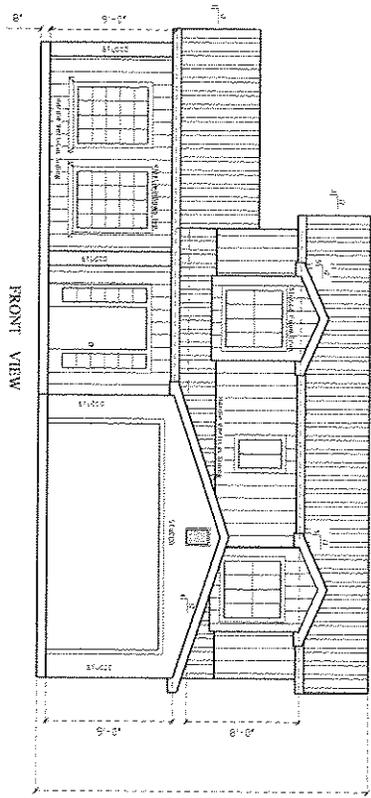
THE OWNER HEREBY AGREES TO BE RESPONSIBLE FOR THE COST OF ANY NECESSARY REVISIONS TO THE CONSTRUCTION SET DRAWINGS PRIOR TO THE START OF ANY CONSTRUCTION.

M & M  
DRAWING SERVICE  
1881 ANSOUL AVE  
RIO LINDA, CA 95388  
(916) 868-1582  
www.mmm-drawings.com

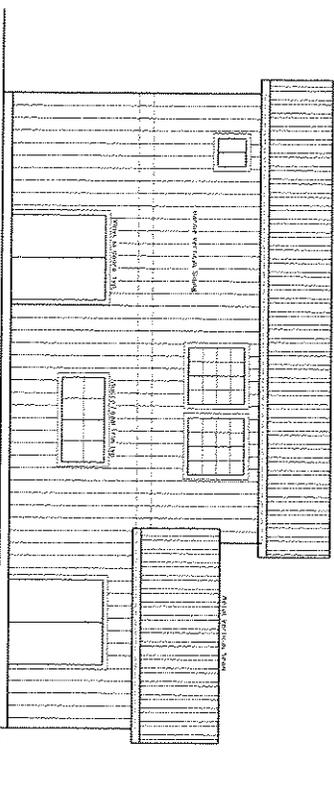
Client: CHROS WILLIAMS  
400 N ST  
SANTA BARBARA, CA  
93101  
Date: 2018  
Worksheet: Winters Project  
Scale: 1" = 1'-0"

A2

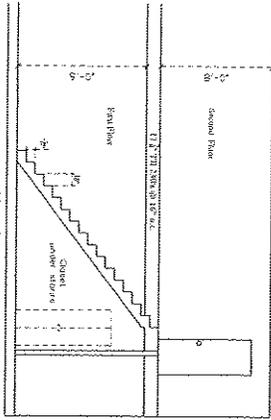




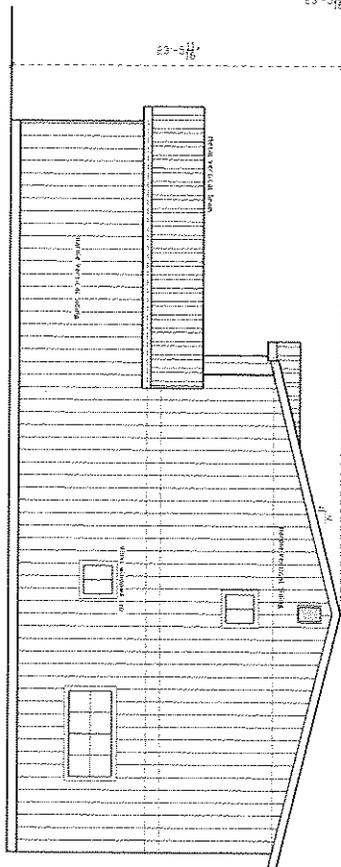
FRONT VIEW



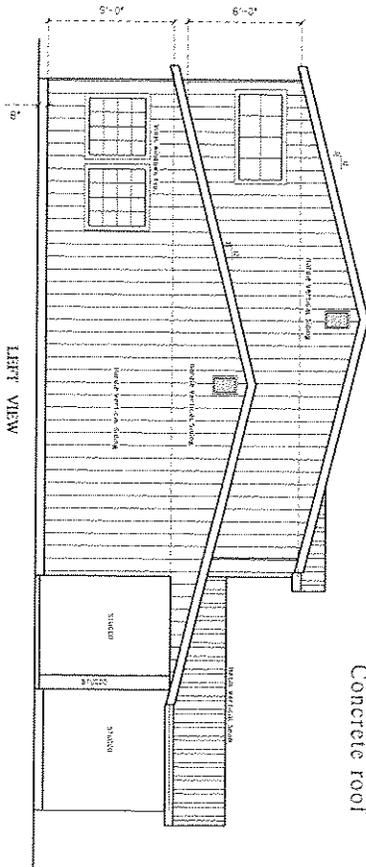
BACK VIEW



NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. ALL MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE. 4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS. 5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.



RIGHT VIEW



LEFT VIEW

Option to: Vertical Siding  
Metal Roof  
Concrete roof

ELEVATIONS B  
Disc. 1-1-07

Contractor  
CITY OF WINTERS  
400 N. MAIN ST.  
WINTERS, CA 95694  
CITY MANAGER  
CITY ENGINEER  
CITY CLERK  
CITY TREASURER  
CITY ATTORNEY  
CITY COMMISSIONERS

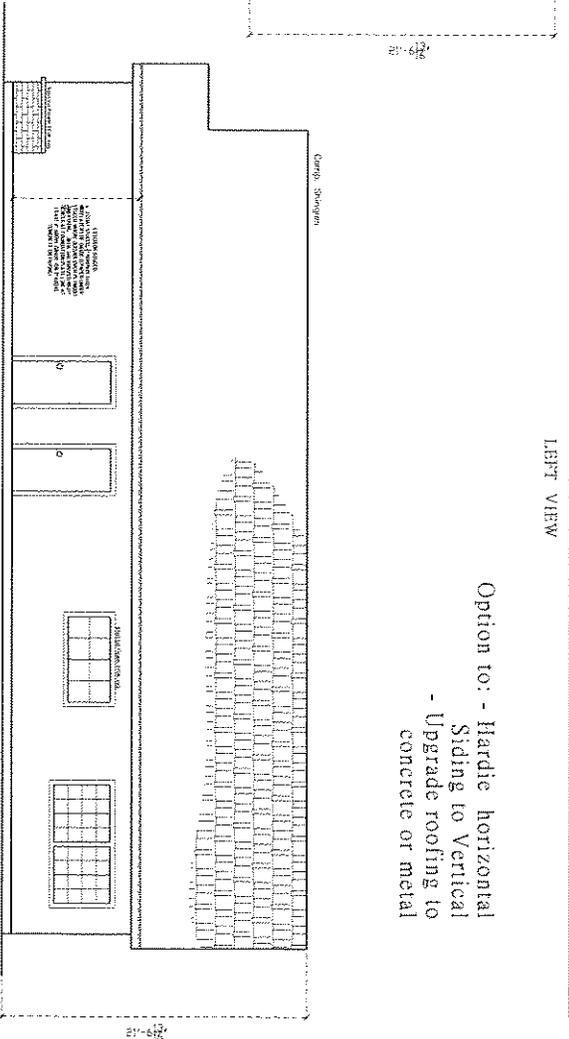
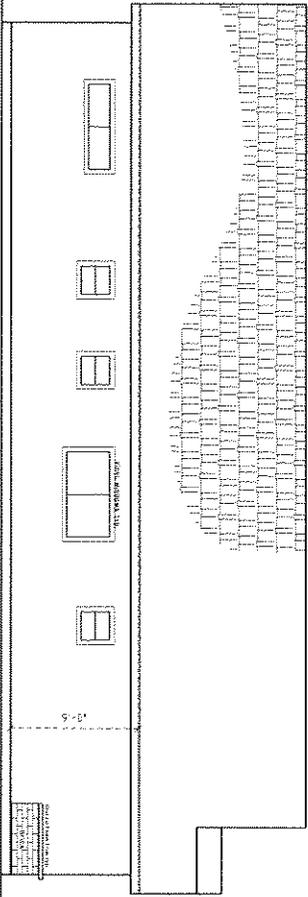
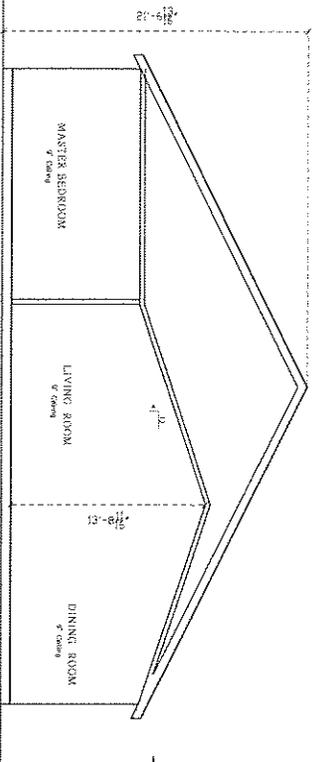
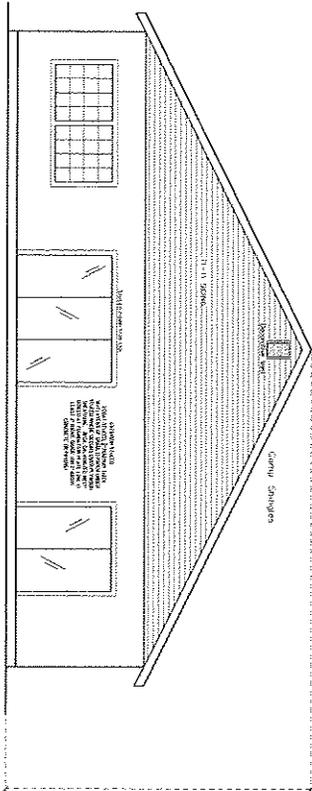
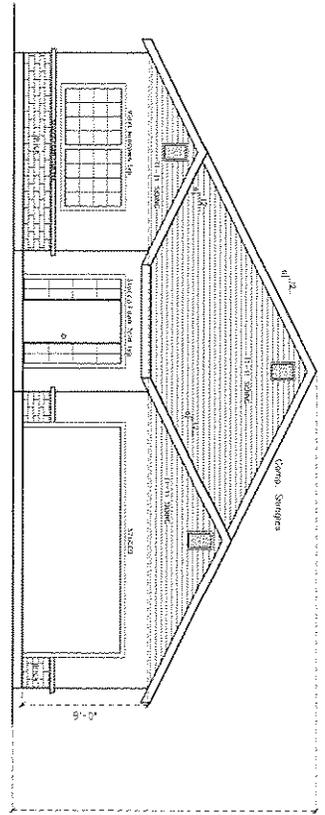
726 Hemenway St  
Winters, Ca. 95694

M & M  
DRAWING SERVICE  
1018 ARSON AVE.  
RIO JORDAN, CA 95388  
916.868.3302  
www.mandm.com

A42







Option to: - Hardie horizontal Siding to Vertical  
 - Upgrade roofing to concrete or metal

ELEVATIONS B  
 1/4" = 1'-0"

Client: CHRIS WILLIAMS  
 400 N 27  
 SAN CARLOS, CA  
 95050  
 Date: 2018  
 Scale: 1/4" = 1'-0"

A4.2

736 Hemenway St  
 Winters, Ca. 95694

M & M  
 DRAFTING SERVICE  
 1403 ASCOT AVE  
 ROLINDA, CA 95888  
 (916) 868-3902  
 mnm/kevin@redwood.com

Design Review 2018-04 Model Homes Phase 1,  
Olive Grove Subdivision

CONDITIONS OF APPROVAL

June 26, 2018

1. The project is described in the June 26, 2018 Planning Commission staff report. The project shall be constructed as depicted on the exhibits included as Attachment A to the staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (July 6, 2019) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request submitted to the Community Development Director.
3. Prior to submitting plans to the Building Division the applicant shall revise the drawings as follows:
  - a. Plans for 722 and 726 Hemenway Street. To help break up the flatness of the right and left elevations add horizontal siding to the gable ends.
  - b. Plans for 736 Hemenway Street. It is not clear if the wainscot veneer is being wrapped around left and right elevation to where it intersects the side yard fences; it should be if it is not.
  - c. Plans for 722, 726 and 736 Hemenway Street. Add windows/lites to the upper row of the garage doors similar to the garage door for Plans for 720 and 724 Hemenway Street.
4. Prior to issuance of a building permit the applicant shall submit for approval by the Community Development Department the following:
  - a. Front yard landscaping plan, including irrigation.
  - b. Fencing plan. Fencing shall be designed as a "good neighbor" fence using steel posts faced with wood to reduce long-term maintenance costs.
5. The applicant/owner shall pay all applicable impact fees and charges at the rate and amount in effect at the time such fees and charges become due and payable.
6. The applicant shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).

ATTACHMENT B

7. The applicant shall comply with requirements of all other agencies of jurisdiction.
8. The applicant shall provide the City with proof of payment receipts for Winters Joint Unified School District mitigation and Yolo County facilities and services authorization fees at building permit issuance.
9. The applicant shall report to the City building materials diverted from land filling during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
10. Final inspection for the buildings shall not be scheduled nor occupancy authorized until the public improvements (sewer laterals, sewer cleanouts, water laterals, water meters, driveway aprons on Grant Avenue, fire hydrants installation, etc.) have been installed, inspected, and accepted by the City. Other infrastructure necessary for the project such as paving, striping of parking spaces outside of the buildings, construction of an on-site flood control facility, landscaping, etc. shall be completed prior to final inspection of the buildings.
11. The payment of City of Winters' monthly utility billing charges shall commence after the buildings have passed final inspection. The applicant shall pay the City of Winters monthly utility charges at the metered rate for water and sewer.
12. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.