

CITY OF WINTERS SPECIAL PLANNING COMMISSION AGENDA

Tuesday, January 23, 2018 @ 6:30 PM
City of Winters Council Chambers
318 First Street
Winters, CA 95694-1923
Community Development Department
Contact Phone Number (530) 794-6713
Email: dave.dowswell@cityofwinters.org

Chairperson: Paul Myer
Vice Chair: Lisa Baker
Commissioners: Dave Adams, Patrick Riley,
Gregory Contreras, Daniel Schrupp, Ramon
Altamirano
City Manager: John W. Donlevy, Jr.
Management Analyst, Dago Fierros

I CALL TO ORDER

II ROLL CALL & PLEDGE OF ALLEGIANCE

III CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.

IV CONSENT ITEM

A. Minutes of the October 10, and November 14, 2017 meetings of the Planning Commission.

V STAFF/COMMISSION REPORTS

VI DISCUSSION ITEMS:

A. Public Hearing and Consideration of an application by Robert Coman for a Parcel Map subdividing an existing 17,275 square foot lot into two parcels (Parcel One 7,495 square feet and Parcel Two 9,780 square feet). The property is located at 117 Second Street APN 003-242-013.

B. Public Hearing and Consideration of an application by Crowne Communities (Callahan Estates) to modify the Planned Development (PD) Overlay Permit 2005-01 Amendment to allow a reduction in the front, rear and side yard setbacks and lot coverage for the model homes for the approved subdivision. The subdivision is located in the northwestern part of the City off the future extension of Main Street. (Continued from November 14, 2017 meeting.)

VII COMMISSION/STAFF COMMENTS

VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON JANUARY 18, 2018


DAVID DOWSWELL, COMMUNITY DEVELOPMENT DEPARTMENT PLANNER

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

THE COUNCIL CHAMBER IS WHEELCHAIR ACCESSIBLE

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 10, 2017**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chairman Myer called the meeting to order at 6:30 p.m.

PRESENT: Commissioners Adams, Altamirano, Baker, Contreras, Riley, Schrupp, Chairman Myer

ABSENT: None

STAFF: City Manager John Donlevy, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

Commissioner Schrupp led the pledge of allegiance.

CITIZEN INPUT: None at this meeting.

CONSENT ITEM: Minutes of the August 22, 2017 meeting of the Planning Commission.

Commissioner Baker moved.

Commissioner Riley seconded.

AYES: Commissioners Adams, Altamirano, Baker, Contreras, Riley, Schrupp, Chairman Myer

NOES: None

ABSTAIN: None

ABSENT: None

Motion carried unanimously.

STAFF/COMMISSION REPORTS:

Commissioners attended the PG&E guided tours

DISCUSSION ITEM:

- A. Public Hearing and Consideration of an application by PG&E for Site Plan/Design Review 2017-04 to remove 26 required parking lot shading trees and install 6 rows of carports with photo-voltaic roofing panels within the center portion of the student parking lot located west of the training center. The property is located at One PG&E Way. APN 038-070-049

COMMISSIONER/STAFF COMMENTS:

Contract Planner Dave Dowswell gave a brief description of the proposed changes and additions to the PG&E parking lot.

PUBLIC COMMENTS:

None.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 10, 2017**

COMMISSIONER/STAFF COMMENTS:

Vice Chair Baker asked if it's quantifiable how addition of photo-voltaic roofing panels will help the City of Winters meet the Assembly Bill 32 requirements to reduce our carbon footprint.

Contract Planner Dave Dowswell and City Manager John Donlevy stated that the addition of photo-voltaic panels is favorable towards meeting Assembly Bill 32 requirements.

Mark Lahlouh of Evergreen Innovations Group shared details on the design and the benefits of having photo-voltaic panels.

Commissioner Baker moved to approve, Riley seconded.

Dowswell added that the City will work with PG&E as to where the trees will be relocation.

Baker amended the clarification.

AYES: Commissioners Adams, Altamirano, Baker, Riley, Schrupp, Chairperson Myer

NOES: None

ABSTAIN: Contreras

ABSENT: None

DISCUSSION ITEM:

- B. Public Hearing and Consideration of Zoning Code Amendments to Prohibit Outdoor Cultivation of Marijuana and Commercial Marijuana Uses.

Contract Planner Dave Dowswell gave a brief description of the Local, State, and Federal regulations regarding Marijuana (Cannabis).

PUBLIC COMMENTS:

None.

COMMISSIONER/STAFF COMMENTS:

Commissioner Riley asked how the City will deal with residents who don't abide by the City's regulations. Dowswell stated that the City will handle issues like other nuisances.

City Manager Donlevy described issues the City currently deals with in regards to Marijuana (Cannabis).

Commissioner Adams moved that the Planning Commission deny the recommendation and send the ordinance back to the City Attorney's office to remove the prohibition of outdoor growing.

Commissioner Altamirano Seconded.

Commissioner Adams stated his disagreement with the way the code amendment is written.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 10, 2017**

Commissioner Baker discussed the marijuana issues faced county-wide.

City Attorney Sigrid Asmundson stated that the proposed amendments to the code will be in compliance with state law.

City Manager Donlevy stated that the proposed amendment to the code is written to “protect the neighbor.”

AYES: Commissioners Adams and Altamirano,

NOES: Commissioners Contreras, Riley, Schrupp, and Chairman Myer

ABSTAIN: Vice Chair Baker

ABSENT: None

Motions failed.

Commissioner Riley moved that the Planning Commission send the proposed code amendment recommendations to the City Council as it is written.

Commissioner Schrupp seconded.

AYES: Commissioners Contreras, Riley, Schrupp, and Chairman Myer

NOES: Commissioners Adams and Altamirano

ABSTAIN: Vice Chair Baker

ABSENT: None

Motion passes.

C. Request to appoint a Planning Commissioner as a liaison to the Winters Putah Creek Committee.

Commissioner Contreras moved to designate Pat Riley.

Commissioner Schrupp seconded.

AYES: Commissioners Adams, Altamirano, Baker, Contreras, Riley, Schrupp and Chairman Myer

NOES: None

ABSTAIN: None

ABSENT: None

Commissioner Altamirano stated that the City should encourage proactive awareness to the community to better prepare for catastrophic events.

City Manager Donlevy discussed the training, resources and procedures the City has in place in order to better prepare the community.

MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
OCTOBER 10, 2017

ADJOURNMENT: Chairperson Myer adjourned the meeting at 7:36pm.

ATTEST: _____

Dagoberto Fierros, Management Analyst

Paul Myer, Chairperson

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
NOVEMBER 14, 2017**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chairman Myer called the meeting to order at 6:30 p.m.

PRESENT: Commissioners Adams, Altamirano, Baker, Contreras, Riley, Chairman Myer

ABSENT: Commissioner Schrupp

STAFF: City Manager John Donlevy, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

City Manager John Donlevy led the pledge of allegiance.

CITIZEN INPUT: None at this meeting.

CONSENT ITEM: Minutes of the October 10, 2017 meeting of the Planning Commission.

Some of the commissioners stated they did not receive a full set of minutes. The minutes were carried over to the January 23, 2018 Planning Commission meeting.

STAFF/COMMISSION REPORTS:

None.

DISCUSSION ITEM:

- A. Public Hearing and Consideration of an application by GBH-Winters Highlands, LLC (Stone's Throw) to modify the Planned Development (PD) Overlay Permit 2007-04 Amendment to allow a reduction in the side and rear yard setbacks for the Plan 1, Plan 4, Plan 6, Plan 7 models in Phase I of the approved subdivision. Phase I of the subdivision is located in the northwestern part of the City off the future extension of Main Street.

COMMISSIONER/STAFF COMMENTS:

Contract Planner Dave Dowswell gave a description of the proposed modifications to the Planned Development (PD) Overlay Permit 2007-04. Dowswell also discussed the proposal from the developer to add a parking slab adjacent to the garage to make up for the lack of parking spaces that could occur with the proposed modification.

Commissioner Contreras asked for more clarification on the proposed "parking slab" option.

PUBLIC COMMENTS:

None.

COMMISSIONER/STAFF COMMENTS:

Commissioners asked for clarification on certain modifications. Discussion ensued with Contract Planner Dave Dowswell and Developer Jeremy Goulart of GBH- Winters Highlands, LLC.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
NOVEMBER 14, 2017**

Vice Chair Baker moved to approve with attached changes, Commissioner Riley seconded.

AYES: Commissioners Adams, Altamirano, Contreras, Baker, Riley, Chairperson Myer

NOES: None

ABSTAIN: None

ABSENT: Commissioner Schrupp

DISCUSSION ITEM:

- B. Public Hearing and Consideration of Zoning Code Amendment to amend Sections 17.104.020.B and E to allow Nonconforming Structures to expand so long as the expansion does not increase the discrepancy between existing conditions and the standards of the district.

Contract Planner Dave Dowswell gave a brief description of the Item. Discussion with Planning Commission ensued.

Vice Chair Baker abstained because her property backs up to Dry Creek.

DISCUSSION ITEM:

- C. Designation of Planning Commissioner to Zoning Code Update Subcommittee.

City Manager John Donlevy gave a brief description of the duties these roles entail.

Vice Chair Baker and Commissioner Adams were selected.

- D. Public Hearing and Consideration of an application by Crowne Communities (Callahan Estates) to modify the Planned Development (PD) Overlay Permit 2005-01 Amendment to allow a reduction in the front, rear and side yard setbacks for the eight (8) of eleven (11) models in Phase 1 (56 lots) of the approved subdivision. The subdivision is located in the northwestern part of the City off the future extension of Main Street.

PUBLIC COMMENTS:

None.

COMMISSIONER/STAFF COMMENTS:

Contract Planner Dave Dowswell gave a brief description of the item. Discussion ensued between project applicant and Planning Commission. The Commission recommended continuing this item to allow staff more time to review the lot specific changes the applicant was requesting a reduction in setbacks.

Item was moved to January 23, 2018 Planning Commission meeting.

AYES: Commissioners Altamirano, Contreras, Baker, Riley

NOES: None

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
NOVEMBER 14, 2017**

ABSTAIN: Commissioners Adams, Myer

ABSENT: Commissioner Schrupp

- E. Public Hearing and Consideration of an application by Crowne Communities for Site Plan/Design Review (DR 2017-05) for the eleven (11) model homes for Phase 1 (56 lots) of the Callahan Estates Subdivision located at the northwest corner of the City off the future extension of Main Street.

COMMISSIONER/STAFF COMMENTS:

Contract Planner Dave Dowswell gave a brief description of the item.

PUBLIC COMMENTS:

None.

COMMISSIONER/STAFF COMMENTS:

Discussion ensued between Planning Commission, project applicant Kam Takar and project architect Steven Kubitschek.

Commissioner Baker discussed the previous concerns with the designs which have since been corrected.

Marketability of homes was brought into question by the Planning Commission.

Commissioner Riley moved with revisions. Altamirano seconded.

AYES: Commissioners Altamirano, Contreras, Baker, Riley

NOES: None

ABSTAIN: Commissioners Adams, Myer

ABSENT: Commissioner Schrupp

ADJOURNMENT: Vice Chair Baker adjourned the meeting at 8:43pm.

ATTEST: _____

Dagoberto Fierros, Management Analyst

Paul Myer, Chairperson



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: January 23, 2018
FROM: David Dowswell, Contract Planner 
SUBJECT: Public Hearing and Consideration of a request for a Parcel Map to subdivide one lot into two parcels for the property located at 117 Second Street APN 003-2421-013. Project applicant: Robert Coman

RECOMMENDATION: Staff recommends that the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Conditionally Approve Resolution 18-01, Parcel Map (2 lots) for parcel 003-242-013, 117 Second Street.

SURROUNDING LAND USES AND SETTING: Surrounding land uses are as follows:

North: Existing single-story Single-Family Home – Zoned R-1
East: Existing single-story Single-Family Housing – Zoned R-1
South: Existing two-story Multi-Family Housing – Zoned R-1
West: Existing single-story Single-Family Housing – Zoned R-1

The site is developed with a 1,350 square foot house which faces Second Street.

GENERAL PLAN & ZONING DESIGNATION: The General Plan land use designation for the property is Low Density Residential (LR). The project parcel is zoned Single Family Residential (R-1).

BACKGROUND: The house on Second Street, located on Parcel One, dates from the early 1900's. There is no evidence of a house or other structure ever having been on Parcel Two.

PROJECT DESCRIPTION: The applicant, Robert Coman, is requesting approval to subdivide the existing 17,245 square foot parcel located at 117 Second Street into two parcels; Parcel One will be 7,495 square feet and Parcel Two will be 9,780 square feet (Attachment A). Parcel Two will be developed in the future with a single family home.

ANALYSIS: According to Table 3B in Section 17.56.010 of the Municipal Code (Zoning Ordinance) the minimum lot size in an R-1 zone is 7,000 square feet with an absolute minimum of 6,000 square feet. The minimum lot width or depth is 60 feet. A note located beneath Table 3B states, "Minimum lot sizes may be reduced for residential subdivisions if tentative or parcel map approval is obtained at the upper reaches of the applicable density range for the site as prescribed by the general plan." Subdividing the property into two lots increases the density. The density of proposed parcel map is 5.12 units/acre, which is at the upper reach of the allowable density range of 1.1 to 7.3 units/acre. The width of Parcel One at 49.96 feet is pre-existing. Staff recommends the Planning Commission approve reducing for Parcel One the allowable lot width from 60 feet to 49.96 feet because the density of the proposed parcel map is near the upper reach of the allowable R-1 density as stated in the note to Table 3B. Parcel Two meets all of the minimum lot standards in Table 3B.

The proposed parcels are consistent with the City's general plan allowable density and standards of the subdivision and zoning ordinances. The applicant will have to submit improvement plans to the City Engineer for review when they develop Parcel Two. The plans for the future development of a single-family home on Parcel Two will require review and approval of the Planning Commission at a noticed public hearing.

The applicant submitted a "Site Plan", which serves as a tentative parcel map. If the Planning Commission approves the tentative parcel map the applicant will need to submit a final parcel map to the City the Engineer's approval. The final parcel map will need to comply with the requirements in Chapter 16.02 of the Municipal Code (Subdivision Ordinance).

PROJECT NOTIFICATION: Public notice advertising for the public hearing on this planning application was published in the Winters Express on 01/11/18 and notices were mailed to all property owners who own real property within three hundred (300) feet of the project boundaries at least ten days prior to tonight's hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 01/18/18.

ENVIRONMENTAL ASSESSMENT: Staff has concluded that the Categorical Exemption provided in Section 15315 of the CEQA Guidelines (Minor Land Divisions) is most applicable to the subject project.

RECOMMENDED FINDINGS FOR THE PARCEL MAP (2 LOTS) FOR PARCEL 003-242-013, 117 SECOND STREET

CEQA Findings:

1. The Parcel Map qualifies for categorical exemption provided in Section 15315 of the CEQA Guidelines (Minor Land Divisions).
2. The Planning Commission has considered comments received on the project during the public review process.
3. The exemption finding reflects the independent judgment and analysis of the City of Winters.
4. The Planning Commission hereby confirms that a Categorical Exemption for the Parcel Map (2 lots) for parcel 003-242-013, 117 Second Street.

General Plan and Zoning Consistency Findings:

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as Low Density Residential (LR) and this designation provides for residential uses such as single-family dwellings, and two-family or duplex dwellings. The applicant anticipates developing the newly created parcel for residential use.
2. The project is consistent with the provisions of the Zoning Ordinance. The property is zoned Single-Family Residential (R-1) and this zone provides for residential use. The applicant anticipates developing the newly created parcel for residential use.

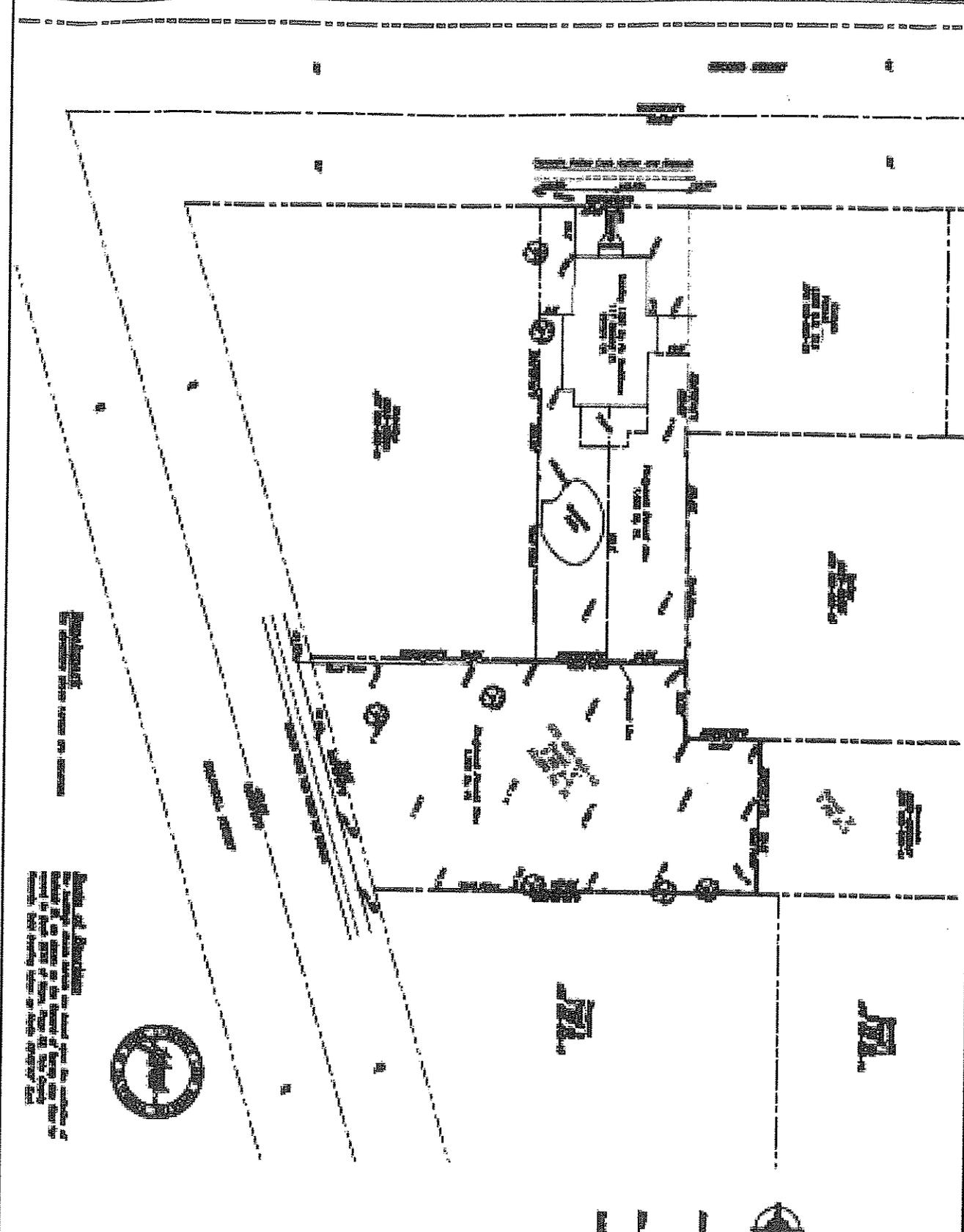
RECOMMENDATION: Staff recommends the Planning Commission make an affirmative motion as follows:

MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION CONDITIONALLY APPROVES RESOLUTION 18-01, PARCEL MAP (2 LOTS) FOR PARCEL 003-242-013, 117 SECOND STREET.

ALTERNATIVES: The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission chooses to deny the application, the Commission would need to submit findings for the official record that would illustrate the reasoning behind the decision to deny the project.

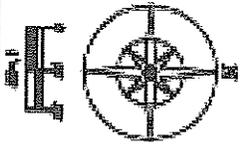
ATTACHMENTS:

- A. Tentative Parcel Map, "Site Plan"
- B. Resolution 18-01 and Conditions of Approval



Proposed
 by owner subject to all easements

Boundary of Easements
 The property shown herein was located from the construction of
 records of the same on the record of being used for the
 purpose of being used for other purposes all other things
 herein being hereby given up hereby conveyed and



Site Plan
 as shown within or not
 (Excludes / Training
 Area shown on Site Plan
 District "C" - 10 feet
 1000 1000-1000-1000
 City of Madison
 Title Company
 Agency 0000

Legend
 Proposed Building
 Proposed Parking
 Proposed Easement
 Proposed Road
 Proposed Utility
 Proposed Other

Legend
 Proposed Building
 Proposed Parking
 Proposed Easement
 Proposed Road
 Proposed Utility
 Proposed Other

ATTACHMENT A

RESOLUTION NO. 2018-01

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WINTERS
APPROVING A PARCEL MAP TO SUDIVIDE 117 SECOND STREET, APN 003-242-
013 INTO TWO LOTS**

WHEREAS, on January 23, 2018 the Planning Commission, pursuant to Government Code Section 65090, held a noticed public hearing for the purpose of receiving public testimony concerning the proposed project; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA") it was determined that the Parcel Map is Categorically Exempt from CEQA Section 15315 (Minor Land Divisions); and

WHEREAS, the Coman/Young Parcel Map, Exhibit "A", to subdivide 117 Second Street, APN 003-242-013 into two parcels is consistent with the Winters General Plan and Municipal Code; and

WHEREAS, the site is physically suitable for the proposed type and density of development; and

WHEREAS, the Coman/Young Parcel Map will not conflict with the public easements for access through, or use of, property for the proposed subdivision.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Winters hereby approves the Coman/Young Parcel Map ("Project"), subject to the following conditions of approval:

Planning

1. The project is described in the January 23, 2018 Planning Commission staff report and as shown on the exhibits included in the January 23, 2018 Planning Commission Staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. Approval of the applicants' project shall be null and void if the applicant fails to submit a final parcel map for the project within 36 months of the Planning Commission's approval of the Parcel Map application.

Public Works

3. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project applicant shall defend, indemnify, and hold harmless the City or its agents,

officers, and employees, from liability, damages, penalties, costs, or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense, which include court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district, and the City Council.

4. The applicant shall provide the City with one mylar and four paper copies of the recorded map.
5. The applicant shall pay all applicable taxes, fees, and charges at the rate amount in effect at the time of such taxes, fees, and charges become due and payable.
6. Prepare improvement plans for work within the public right-of-way, including an on-site grading plan, and submit them to the Public Works department for review and approval. The improvement plan sheets shall conform to the City of Winters Public Improvements Standards and Construction Standards. This submittal is separate from the building permit submittal. The applicants shall provide two sets of each improvement plan submittal for review. Upon City Engineer approval, the applicants shall provide 2 wet-stamped sets of approved improvement plans, two wet-stamped sets of approved grading plans, and two print sets of the grading plans. The applicants shall submit and one electronic media file (PDF) of the entire set of plans.
7. Submit a soils report along with the improvement plans.
8. All perimeter parcels and lots shall be protected against surface runoff from adjacent properties in a manner acceptable to the City Engineer.
9. All projects shall include implementation of post-construction best management practices (BMP). Post construction BMP's shall be identified on improvement plans and approved by the City Engineer. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit.
10. Landscaped slopes along streets shall not exceed 5:1; exceptions shall require approval of the City Engineer. Level areas having a minimum width of two (2) feet shall be required at the toe and top of said slopes.
11. All inactive portions of the construction site, which have been graded will be seeded and watered until vegetation is grown.

12. Grading shall not occur when wind speeds exceeds 20 MPH over a one hour period.
13. Potentially windblown materials shall be watered or covered.
14. Construction areas and streets shall be wet swept.
15. The property shall be connected to the City of Winters water and sewer system, at the Applicant's expense, with a separate water service and sewer lateral required for each parcel, in accordance with City of Winters Public Improvement standards and Construction Standards.
16. At the time the Building Permit is issued, the applicant will be required to pay the appropriate City connection Fees. All domestic water services will be metered. Water meters shall be installed on all water services to the satisfaction of the Public Works Department.
17. The City of Winters Inspection Fee applies and is due before approval of the public improvement plans.
18. The conditions as set forth in this document are not all inclusive. Applicants shall thoroughly review all city, state, and federal planning documents associated with this map and comply with all regulations, mitigations and conditions set forth.
19. Joint trench/utility/composite plans shall be submitted to the City Engineer for review, prior to approval of the final map and improvement plans.
20. The public improvements on the improvement plans shall be constructed and accepted prior to issuance of any building permit.
21. Occupancy shall not occur until on-site grading and off-site public improvements have been accepted by the City Engineer and as-built drawings have been submitted. Applicants, and/or owners shall be responsible to so inform prospective buyers, lessees, or renters of this condition.
22. As part of the public improvements, the engineer or surveyor shall set sufficient durable monuments to conform to the standards described in Section 8771 of the Business and Professions Code.
23. Conform to County Health regulations and requirements for the abandonment of a septic tanks and water wells.
24. Existing public and private facilities damaged during the course of construction shall be repaired by the applicant, at his sole expense, to the satisfaction of Public Works.
25. The damaged sidewalk along Wolfskill Street the east end of Parcel Two shall be replaced. .

I HEREBY CERTIFY that the foregoing Resolution was adopted by the City Council of the City of Winters at a regular meeting held on the 23rd day of January, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Paul Myers, Chairperson
Winters Planning Commission

Nanci G. Mills, City Clerk
City of Winters



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: January 23, 2018
FROM: Dave Dowswell, Contract Planner *D.D.*
SUBJECT: Public Hearing and Consideration of Planned Development Overlay Permit Modification (PD 2005-01 Amendment) for the Callahan Estates Subdivision.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- 1) Find the proposed project exempt from CEQA, Section 15601(b)(3), the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. This project will not have a significant effect on the environment; and
- 2) Receive the staff report; and
- 3) Conduct the public hearing to solicit public comment; and
- 4) Approve the Planned Development (PD) Overlay Permit Modification for Phase 1 lots.

GENERAL PLAN & ZONING DESIGNATION: The entire project site is 26.4 acres; it is General Planned Medium Density Residential (MR) and is zoned Single-Family Residential (R-2). The site is located in the northwestern portion of Winters, north of the Winters Ranch and south of Winters Highlands (Stone's Throw), off the future extension of Main Street.

BACKGROUND: On November 3, 2017 the applicant submitted an application requesting amendments to the existing PD Overlay Permit to allow a reduction to the required front, rear and side yard setbacks.

On November 14, 2017 the Planning Commission, at noticed public hearing, discussed the requested amendments to the existing PD Permit for each of the eleven models. After discussing the requested changes to the eleven models the Commission continued the hearing to allow staff to evaluate the requested additional amendments for the 12 specific lots. Staff met with the applicant on November 29 and December 21 2017 and on January 4, 2018 and discussed lot specific amendments.

On January 10, 2018 the applicant submitted a revised request amending the existing PD Permit. In addition to the previously requested reduced setbacks for the model homes the applicant is requesting a 2 foot reduction to the required 10 foot rear yard setback for a future patio cover. The applicant is also requesting for lots with T2 model homes the allowable lot coverage be increased from 50 to 54.42 percent and for lots with T3 model homes the allowable lot coverage be increased from 45 to 47.68 percent. The request to exceed the allowable lot coverage is only for a future patio cover.

PROJECT DESCRIPTION: In addition to the amendments for future patio covers the applicant is requesting the following modifications to the existing PD permit for all eleven (11) models for the entire subdivision (Attachment A):

1. Model A1 reduce front setback from 20 to 15 feet for the porch; and
2. Model A2 reduce front setback from 20 to 13 feet for the trellis/porch. This would increase the rear yard setback 19 feet 2 inches for the garage, making the driveway almost the standard length of 20 feet; and
3. Model A3 reduce front setback from 20 to 17 feet for the master bedroom;
4. Model AC1 and AC2 reduce the front setback from 20 to 15 feet for the porch; and
5. Model T1 reduce the side yard setback beyond the garage from 10 to 5 feet; and
6. Model T2 reduce the front yard setback from 20 to 15 feet for den and the side yard setback from 10 to 5 feet; and
7. Model T3 reduce the front setback from 20 to 15 feet for the porch; and
8. Model T4 reduce the front yard setback from 20 to 15 feet for the porch; and
9. Model TC1 reduce the street side yard setback from 15 to 13 feet 6 inches for the bedroom #3 and the kitchen and the front yard setback from 20 to 18 feet for bedroom #2; and
10. Model TC2 reduce street side setback from 15 to 14 feet for the porch and the front yard setback from 20 to 18 feet for bedroom #2.

ANALYSIS: Under the Planned Development Overlay process (Chapter 17.48) in the Zoning Ordinance an applicant can request multiple modifications to the City's Development Standards (Chapter 17.56). The Zoning Ordinance states the purpose of the PD overlay zone is, "to promote the development of a cohesive and aesthetically pleasing urban structure for Winters." The applicant is requesting two types of modifications, one involves each of the model homes and the other involves future patio covers that a homeowner might wish to add.

Model Home Modifications

The reduction to the front setbacks, in most cases, involves a portion (bedroom, den or porch) of the model. For two models (T1 and T2), which are both one-story, the reduction is to the 10-foot side yard setback. In both cases the reduction in the 10-foot side yard setback to five feet is to the house and not the garage, which will be setback 10 feet, thereby maintaining the ability for a future homebuyer to add a slab to the side of the garage or driveway to park a recreational vehicle or other vehicle.

The newly requested reduction to the front setback from 16 to 15 feet is for the T-4 model elevation B. The T-4 model floor plan shows a rear yard setback of 22 feet or two feet more than required. It is not clear why the additional 1 foot reduction is needed. Staff therefore recommends keeping the setback at 16 feet, and if necessary on any lot with a T-4 model elevation B rather than reducing the front setback 1 additional foot the rear yard setback be reduced to 21 feet.

The newly requested reduction to the street side yard setback from 15 to 13 feet 6 inches is for the TC1 model. According to house plotting plan all of the lots on which the TC1 model is proposed to be located will be at least 75 feet wide. The TC1 model is 55 feet wide, which will allow for the required 5 and 15 foot side yard setbacks. It is not clear why the street side yard setback needs to be reduced. Staff therefore recommends keeping the street side yard setback at the required minimum of 15 feet.

The newly requested reduction to the street side yard setback from 15 to 14 feet is for the TC2 model. According to the house plotting plan only Lot 104 is not wide enough to accommodate a TC2 plan without the additional reduction. Staff supports the request to reduce the street side yard setback for Lot 104 to 14 feet due to the slightly irregular shape of the lot.

The newly requested reduction to the front yard setback from 15 to 13 feet for the A2 model will allow the rear yard setback from the garage to the alley to be increased from 17 feet 2 inches to 19 feet 2 inches (Note: The required rear yard setback requirement for a garage off an alley is only 5 feet) making the driveway more useable. The reduced setback is to the trellis that covers the porch the house will be setback 15 feet 6 inches. Having a more useable driveway is beneficial; staff therefore supports the front yard setback reduction to 13 feet.

Eleven of the 12 lot specific requested setback reductions are to the 10-foot garage side yard setback. For lots 32 through 37 the reduction would only be for the A2 model, which is 50 feet wide. The applicant wants to have the flexibility to change the house plotting plan to allow an A2 model to be placed on any of lots 32 through 37. The A1 and A3 models are 45 feet wide allowing them to meet the minimum 10 and 5-foot side yard setbacks. The house plotting plan (Attachment B) shows an A2 model being located on lots 33 and 35. Staff initially was concerned about potentially having six A2 model houses in a row with only 10 feet (5 foot side yards on each lot) separating each

house. Per condition of approval #59 for the subdivision, the same model and/or elevation cannot be located side by side. As a result, a maximum of three of the six lots could have an A2 model with the reduced side yard setback.

The applicant states reducing the garage side yard setback on lots 42 through 45 will provide "nicer more consistent streetscape". On lot 59 a portion (northeast corner) of the rear yard setback will be 16 feet instead of 20 feet. This is due to the rear property line being angled rather than parallel to the back of the house. The average rear yard setback is considerably more than 20 feet. Staff supports these requests.

Staff believes having staggered front setbacks will add interest to the street view. In most cases the front yard setback reduction is to a portion of a model (porch), which minimizes the visual impact of reduced setbacks. The impacts of reduced front setbacks are further minimized by most of the models being one story.

Patio Cover Modifications

Most homeowners when they buy a new house are unaware their home may be part of a planned development. Often times, after they buy their home, they want to install a patio with a cover.

Section 17.56.020C4 of the Zoning Ordinance states, "Patio covers, elevated decks (thirty (30) inches or higher), sunshades and similar structures shall abide by side and front yard setbacks of the zone, but may extend into the required rear yards provided the following conditions are satisfied:

- a. No part of the structure shall be located within ten (10) feet of the rear lot line and three (3) feet of any side lot line.
- b. No more than thirty (30) percent of a required rear yard may be covered by such a structure.
- c. The structure shall be unenclosed on at least three (3) sides except for the following:
 - i. Required vertical supports;
 - ii. Insect screening; and
 - iii. Kickboards not exceeding one (1) foot in height as measured from the finished-floor level"

The applicant's request to reduce the rear yard setback and increase the allowable lot coverage is only for patio covers as shown in the illustrations (Attachment C). There are 109 total lots 68 are "Traditional" non-corner lots, 27 are "Alley" lots and 14 are "Corner" lots. Staff supports the request to amend the PD Permit to allow up to a 2 foot encroachment into the rear yard setback to accommodate a patio cover. Staff further supports increasing the allowable lot coverage for a patio cover for the T2 model from 50 to 54.2 percent and for the T3 model from 45 to 47.68 percent.

PROJECT NOTIFICATION: Public notice for this application was prepared by the Community Development Department as set forth in the City of Winters' Municipal Code and State Planning Law. A legal notice was published in the Winters Express on 1/11/18 and notices were mailed to all property owners who own real property within 300 feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments have been available for public review online and at City Hall since 1/18/18.

ENVIRONMENTAL ASSESSMENT: An Environmental Impact Report was prepared for this project and certified by the City Council on April 4, 2006 (Resolution 2006-08). The proposed project is considered exempt from CEQA, Section 15601(b)(3), the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. This project will not have a significant effect on the environment

ALTERNATIVES: The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

RECOMMENDED FINDINGS FOR CALLAHAN ESTATES SUBDIVISION – PLANNED DEVELOPMENT OVERLAY MODIFICATION 2005-01 AMENDMENT

CEQA Findings:

- 1) The proposed project (PD Overlay Zone Modification) is exempt from review under the California Environmental Quality Act (CEQA) Guidelines, Section 15061(b)(3).

Planned Development Findings:

- 1) The proposed development is consistent with the general plan and the purposes of this section.
- 2) The proposed development complies with the applicable provisions of the Single Family Residential R-2 Zoning and the deviations from those provisions have been justified as necessary to achieve an improved design of the subdivision.
- 3) The proposed development is desirable to the public comfort and convenience.
- 4) The requested modification to the approved plan will not impair the character of the neighborhood nor be detrimental to the public health, safety or welfare.
- 5) The proposed development will have adequate utilities, access roads, sanitation and other necessary facilities and services.
- 6) The proposed project provides effective use of landscaping, which provides effective softening of the development.

- 7) The proposed development will not create an adverse fiscal impact for the city in providing the necessary services.

RECOMMENDATION: Staff recommends approval of the amendments to Planned Development Permit by making an affirmative motion as follows:

I MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION FIND THE PROPOSED PROJECT EXEMPT FROM CEQA, SECTION 15061(B)(3) AND APPROVE AMENDMENTS TO THE PLANNED DEVELOPMENT OVERLAY MODIFICATION PERMIT 2005-01 AMENDMENT FOR THE CALLAHAN ESTATES SUBDIVISION BASED ON THE IDENTIFIED FINDINGS OF FACT.

CONDITIONS OF APPROVAL:

1. The Planned Development Modification (PD 2005-01) as amended applies to the entire subdivision.
2. Model home setback reductions:
 - a. The minimum front setback for the T4 model shall be 16 feet.
 - b. The minimum street side yard setback for the TC1 model shall be 15 feet.
 - c. The minimum street side yard setback for the TC2 model shall except for Lot 104 which shall be 14 feet.
3. Patio cover setback reductions and lot coverage:
 - a. All plans a would be allowed to construct a patio cover which encroaches a maximum of 2 feet into the required 10 foot rear yard setback. No encroachment into the side yard setback will be allowed.
 - b. The allowable lot coverage for a patio cover for the T2 model may be increased from 50 to 54.2 percent and for the T3 model from 45 to 47.68 percent.
4. Minor modifications to the house plotting plan, as shown in Attachment B of the staff report, requires approval of the Community Development Department.

ATTACHMENTS:

- A. Planned Development Overlay Modifications Permit, encroachments for model homes – November 3, 2017
- B. House Plotting Plan
- C. Planned Development Overlay Modifications Permit, rear yard encroachments for patio covers -- January 10, 2018

CALLAHAN ESTATES

WINTERS, CA.

DRAWING INDEX

1	ALLEY LOT SITE PLANS
2	TRADITIONAL LOT SITE PLANS
3	ALLEY LOT SITE PLANS
4	TRADITIONAL LOT SITE PLANS
5	TRADITIONAL LOT SITE PLANS
6	TRADITIONAL LOT SITE PLANS
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100	TRADITIONAL LOT SITE PLANS

Zoning Standards - and - Plan Specific PD Amendments Requested (highlighted in blue)

PLAN DETAILS	TRADITIONAL LOT PRODUCT LINE				TCL	TCL	TCL
	T1	T2	T3	T4			
Single or 2-Story	Single	Double	Double	Double	Single	Single	Single
1st Floor Conditioned Living Space	2,006	2,409	1,776	1,441	2,307	2,338	2,338
2nd Floor Conditioned Living Space	n/a	n/a	903	1,645	n/a	n/a	n/a
Total Conditioned Living Space	2,006	2,409	2,679	3,086	2,307	2,338	2,338
Garage Footage	479	479	487	707	644	652	652
Porch A Footage	105	65	149	112	150	135	135
Porch B Footage	95	88	58	140	182	70	70
Porch C Footage	35	89	124	137	150	148	148
Total Lot Coverage Maximum	2,590	2,977	2,412	2,288	3,133	3,148	3,148
Coverage Ratio on Smallest Lots	43.2%	49.6%	40.2%	38.1%	41.8%	42.0%	42.0%

City of Winters ZONING STANDARDS

TABLE 3A Requirements
50% Single Story - 45% Double Story

TABLE 4 Requirements
20' (Front Patios are allowed 15')
20' (17,56,020 suggest 18')
30' on garage side / 5' on other side

City of Winters ZONING STANDARDS

TABLE 3A Requirements
50% Single Story - 45% Double Story

TABLE 4 Requirements
20' (Front Patios are allowed 15')
20' (17,56,020 suggest 18')
30' on garage side / 5' on other side

ALLEY LOT PRODUCT LINE

PLAN DETAILS	A1	A2	A3	AC
	Single or 2-Story	Single	Single	Double
1st Floor Living Space	2,045	2,195	1,709	2,335
2nd Floor Living Space	n/a	n/a	1,032	n/a
Total Living Space	2,045	2,195	2,741	2,335
Garage Footage	521	484	484	471
Porch A Footage	117	105	102	n/a
Porch B Footage	111	85	108	162
Porch C Footage	85	219	75	140
Total Lot Coverage Maximum	2,683	2,898	2,901	2,968
Coverage Ratio on Smallest Lots	42.6%	44.6%	36.5%	40.4%

City of Winters ZONING STANDARDS

TABLE 3A Requirements
50% Single Story - 45% Double Story

TABLE 4 Requirements
20' (Front Patios are allowed 15')
20' (17,56,020 suggest 18')

City of Winters ZONING STANDARDS

TABLE 3A Requirements
50% Single Story - 45% Double Story

TABLE 4 Requirements
20' (Front Patios are allowed 15')
20' (17,56,020 suggest 18')

PD PERMIT SETBACKS REQUESTED

Front Setback to Living Area or Porch	15'	15'	15'	15'	15'	15'
Gar Sideyard Setback (Beyond Garage)	5'	5'	none	none	5'	5'

PD PERMIT SETBACKS REQUESTED

Front Setback to Living Area or Porch	15'	15'	15'	15'	15'	15'
Gar Sideyard Setback (Beyond Garage)	5'	5'	none	none	5'	5'

PD PERMIT SETBACKS REQUESTED

Front Setback to Living Area or Porch	15'	15'	15'	15'	15'	15'
Gar Sideyard Setback (Beyond Garage)	5'	5'	none	none	5'	5'

COVER SHEET

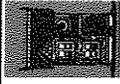
STEPHEN'S DESIGN
RESIDENTIAL DESIGN
LAPORTE, CA
PH: 925-242-6187
WWW.STEPHENSDESIGN.COM

CALLAHAN ESTATES

A0.1



ATTACHMENT A



RESIDENTIAL DESIGN
 11111 11111
 PH: 202-242-1107
 kcallahan@callahan.com
 www.callahanestates.com

Callahan
ESTATES
CALLAHAN
ESTATES

NO.	DATE	DESCRIPTION

PROJECT:

REVISIONS:

DATE:

DESCRIPTION:

SHEET TITLE:

FLOOR PLAN
A1

JOB No.

SCALE: 1/8" = 1'-0"

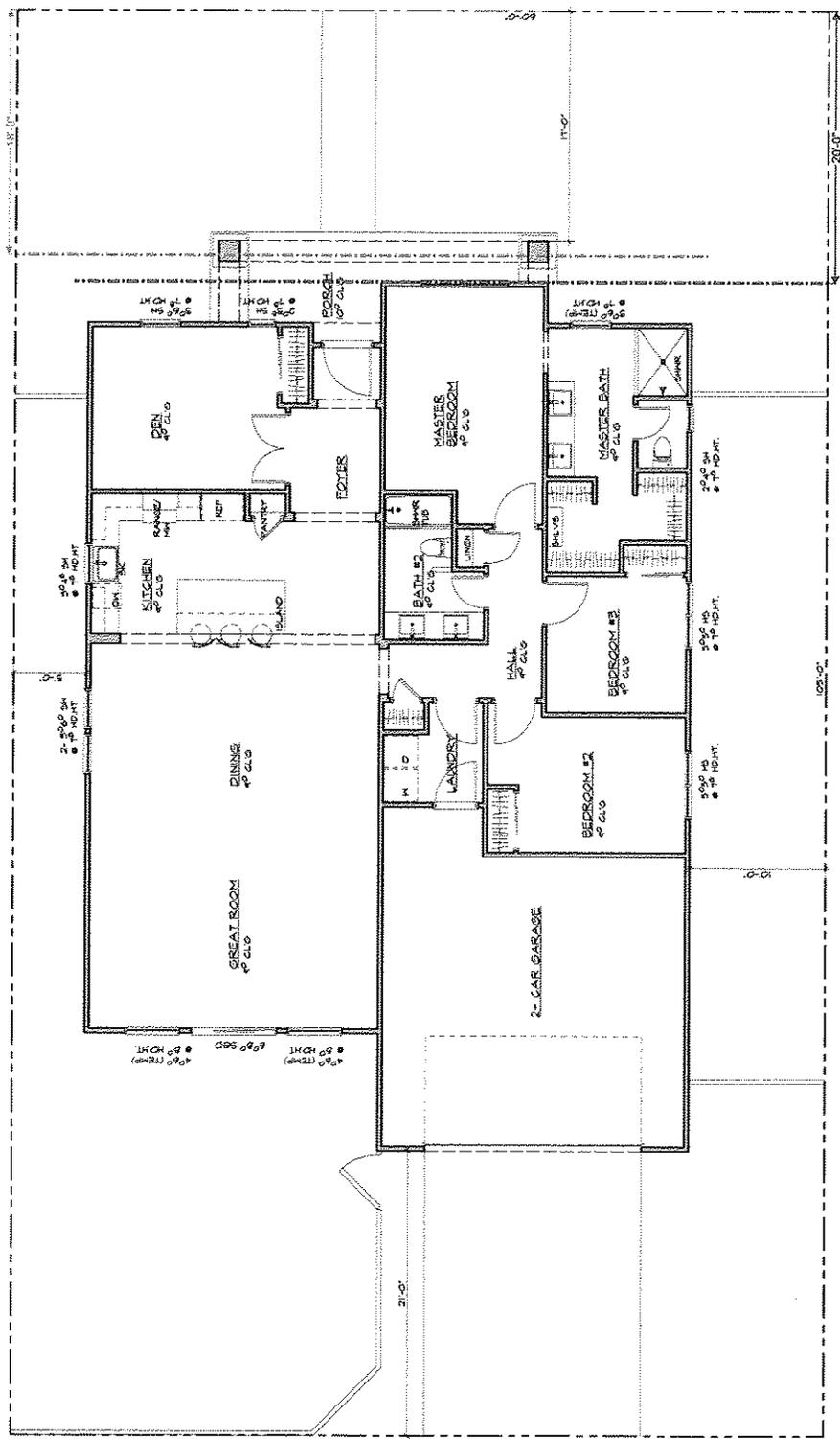
DATE: 11/11/11

DESIGNER: K. CALLAHAN

CHECKED BY:

SHEET No.:

A1-1.0



1 FLOOR PLAN A1-A

PROJECT: A1
DATE: 11/11/11
DESIGNER: K. CALLAHAN
CHECKED BY:

PLAN IN RED
PLAN IN GREEN
PLAN IN YELLOW



STEVEN J. ANTUFSCHIK
 RESIDENTIAL DESIGN
 1100 S. UNIVERSITY BLVD.
 SUITE 100
 FT. WORTH, TX 76104
 PHONE: 817.336.2421
 FAX: 817.336.2421
 EMAIL: sjantufschik@antufschik.com
 WWW: antufschik.com

PROJECT:

Callahan
ESTATES
CALLAHAN
ESTATES

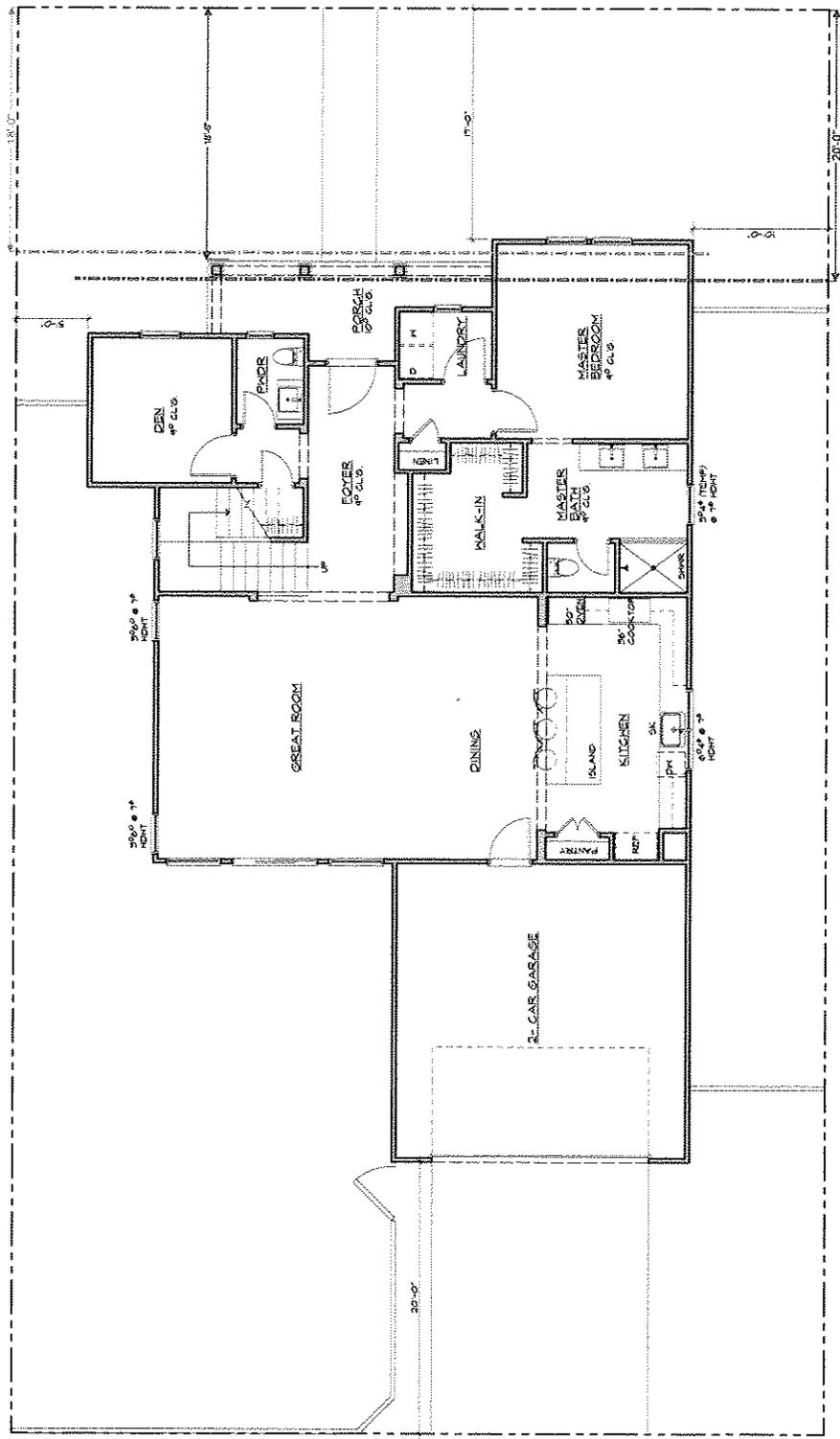
REVISIONS	
NO.	DATE / DESCRIPTION

SHEET TITLE
1ST FLOOR PLAN
A3

SCALE: 1/8" = 1'-0"
JOB NO.:
DATE:

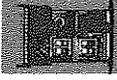
OWNER:
ARCHITECT:
DATE:
SCALE:
PROJECT NO.:
SHEET NO.:

A3-1.0



1 1ST FLOOR PLAN A3-A

- 1000 SQ FT
- 1000 SQ FT
- 400 SQ FT
- 1000 SQ FT
- 1000 SQ FT
- 75 SQ FT



STATE OF CALIFORNIA
 REALTOR ASSOCIATION
 1400 AVENUE 10
 SUITE 1000
 COSTA MESA, CA 92626
 TEL: 949.444.1177
 FAX: 949.444.1178
 WWW.CALIBROKER.COM

PROJECT

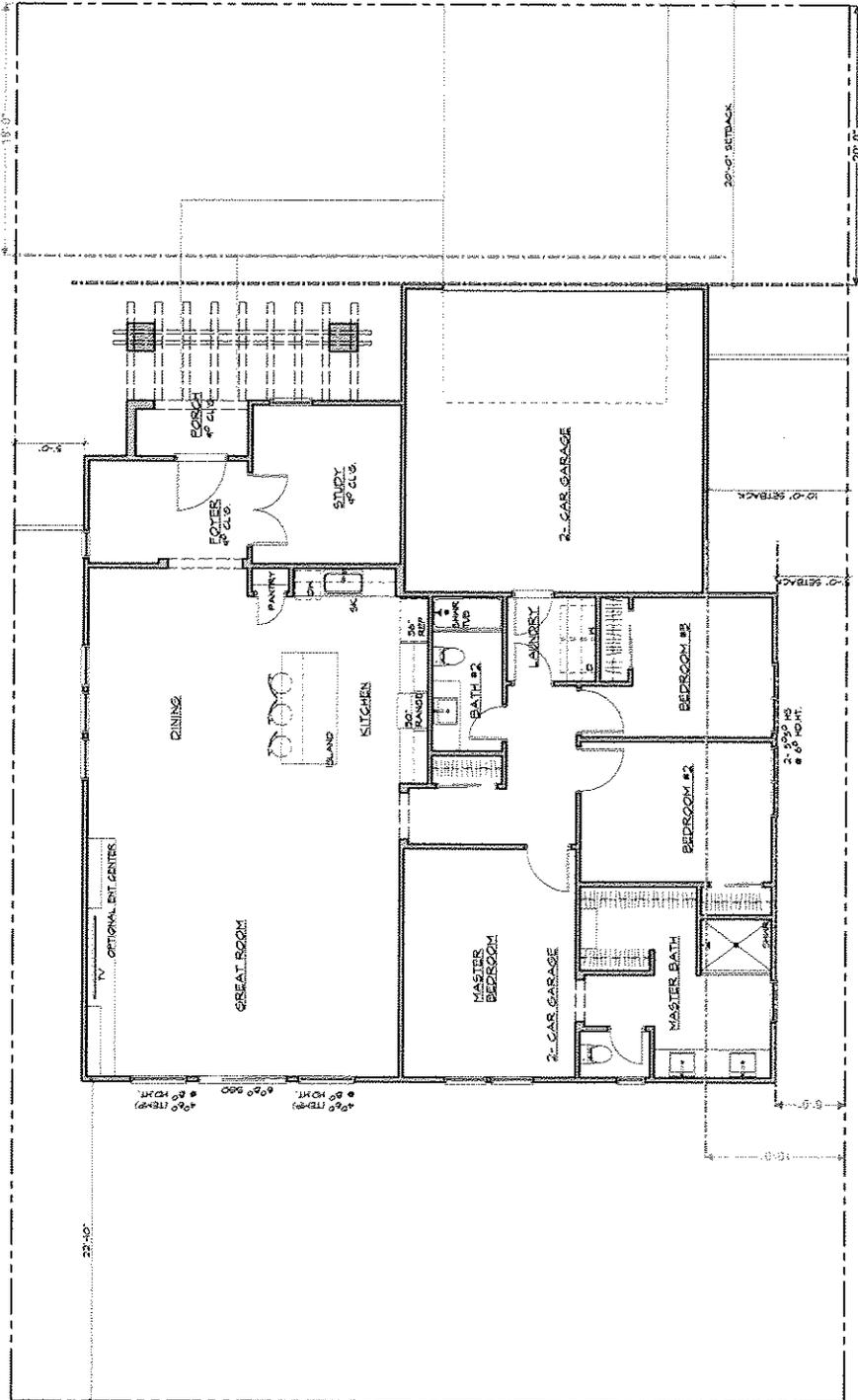
Callahan
 REAL ESTATE
 CALLAHAN
 ESTATES

NO.	DATE	DESCRIPTION

NOT TO SCALE
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED
 ALL FINISHES ARE TO BE DETERMINED AT THE TIME OF CONSTRUCTION
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE AND SAFETY CODES
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENERGY CODES
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AIR RESOURCES ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WATER RESOURCES ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SOIL CONSERVATION AND TROPICAL FORESTRY ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC RESOURCES ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC UTILITIES ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC EMPLOYMENT ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC CONTRACTORS ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC LABOR RELATIONS ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC SAFETY ACT
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 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC CONTRACTORS ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC LABOR RELATIONS ACT
 ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PUBLIC SAFETY ACT

SHEET TITLE
**FLOOR PLAN
 T1-A**

DATE
 01/14/10
 DRAWN BY
 J. H. HARRIS
 CHECKED BY
 J. H. HARRIS
 PROJECT NO.
 T1-1.0



1 FLOOR PLAN T1-A
 2000 SIGHT
 475 SIGHT
 100 SIGHT
 100 SIGHT
 100 SIGHT



STANDARD CONTRACT
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 PROJECT: **Callahan Estates**

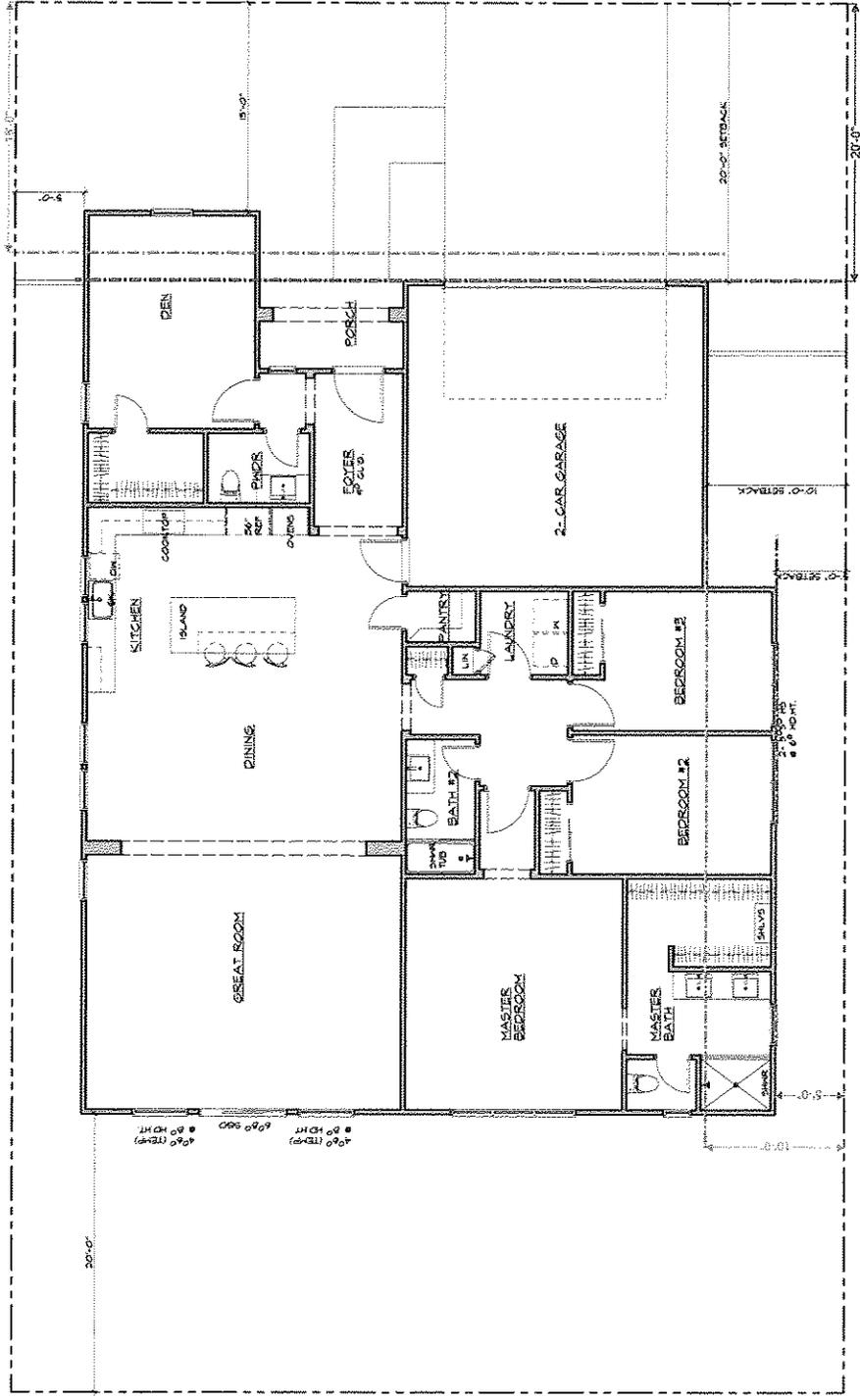
Callahan
 REALTY
 CALLAHAN
 ESTATES

NO.	DATE	DESCRIPTION

REVISIONS
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 5. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.
 6. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
 7. ALL STAIRS ARE 8" HIGH UNLESS NOTED OTHERWISE.
 8. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
 9. ALL EXTERIOR WALLS ARE 16" THICK UNLESS NOTED OTHERWISE.
 10. ALL EXTERIOR DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 11. ALL EXTERIOR WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 12. ALL EXTERIOR WALLS ARE 16" THICK UNLESS NOTED OTHERWISE.
 13. ALL EXTERIOR ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
 14. ALL EXTERIOR FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
 15. ALL EXTERIOR CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.

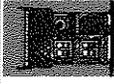
**FLOOR PLAN
 T2-A**

DATE: 10/10/10
 SCALE: 1/8" = 1'-0"
 0' 2' 4' 8'
 ON SUBMITTAL DATE: November 20th, 2010
 SHEET NO. **T2-1.0**



1 FLOOR PLAN T2-A

2400' SQ. FT.
 1200' SQ. FT. LOT
 470' SQ. FT. GARAGE
 450' SQ. FT. PLAN 1A PORCH
 800' SQ. FT. PLAN 1B PORCH
 800' SQ. FT.



STIVERS ARCHITECTURE
 RESIDENTIAL DESIGN
 11710 DIGHT
 3020 DIGHT
 407 DIGHT
 200 DIGHT
 124 DIGHT
 PH: 302-234-1107
 AIA: 302-234-1107
 www.stiversarchitecture.com

PROJECT:

Callahan
PROPERTIES
CALLAHAN
ESTATES

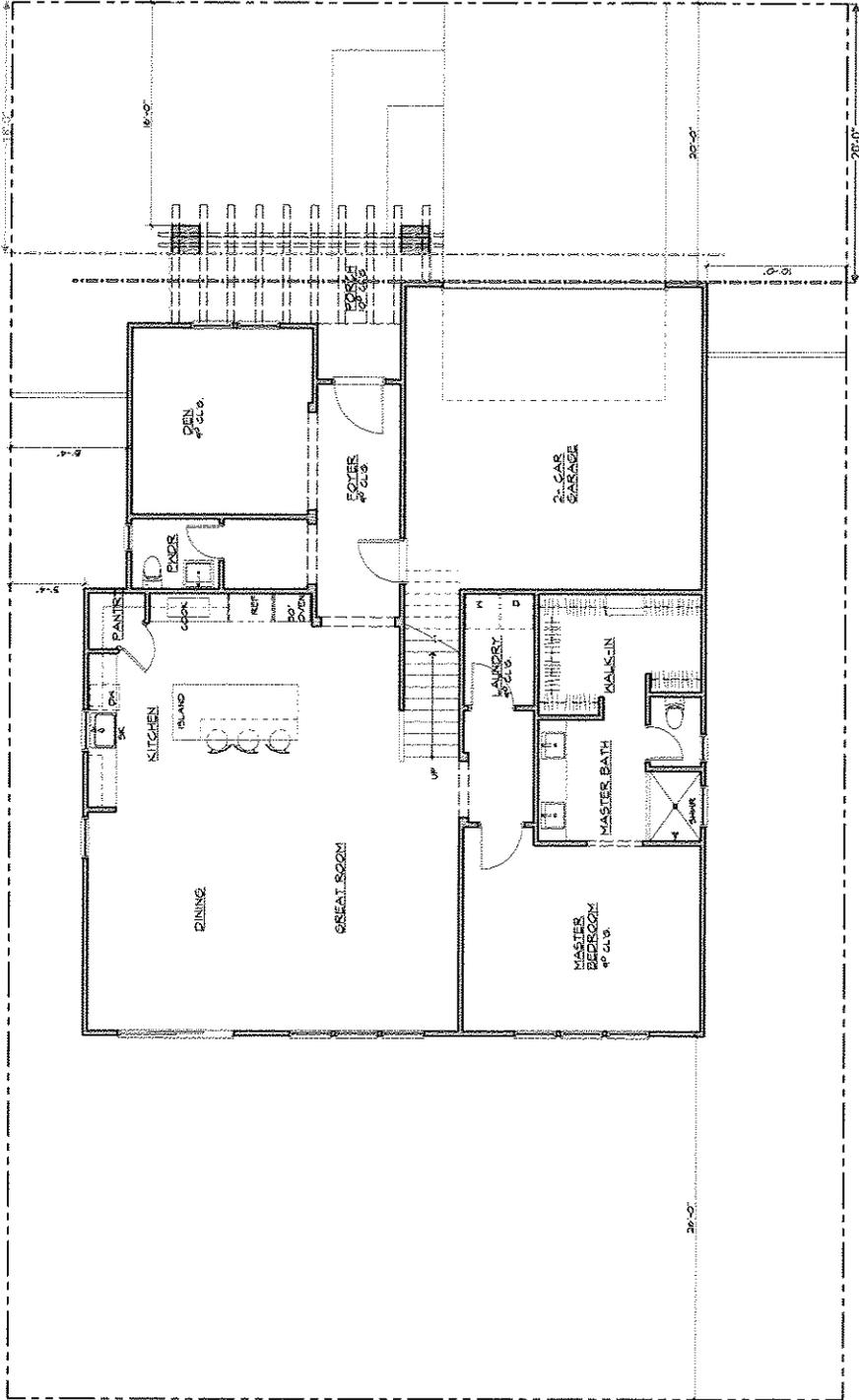
No.	DATE	DESCRIPTION

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. ALL WALLS ARE TO BE CONCRETE BLOCK WITH INTERIOR FINISHES.
 4. ALL FLOORS ARE TO BE CONCRETE WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 5. ALL CEILING ARE TO BE CONCRETE WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 6. ALL ROOFS ARE TO BE ASPH/FLT WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 7. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 8. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 9. ALL EXTERIOR CEILING ARE TO BE CONCRETE WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.
 10. ALL EXTERIOR ROOFS ARE TO BE ASPH/FLT WITH FINISHES TO BE DETERMINED BY THE ARCHITECT.

SHEET TITLE:
1ST FLOOR PLAN

JOB No.
 SCALE: 1/4" = 1'-0"
 0 2 4 8
 24 SOUTH PINE DRIVE, DUNEDALE, FL 33426

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 SHEET NO.
T3-1.0



① 1ST FLOOR PLAN T3-A

- 1710 DIGHT
- 3020 DIGHT
- 407 DIGHT
- 200 DIGHT
- 124 DIGHT
- PH: 302-234-1107
- AIA: 302-234-1107
- www.stiversarchitecture.com
- 1710 DIGHT
- 3020 DIGHT
- 407 DIGHT
- 200 DIGHT
- 124 DIGHT
- PH: 302-234-1107
- AIA: 302-234-1107
- www.stiversarchitecture.com



STEVEN E. RUDOLPH INC.
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10000 W. BAYVIEW BLVD.
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P.O. BOX 2042167
MIAMI, FL 33120
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PROJECT:

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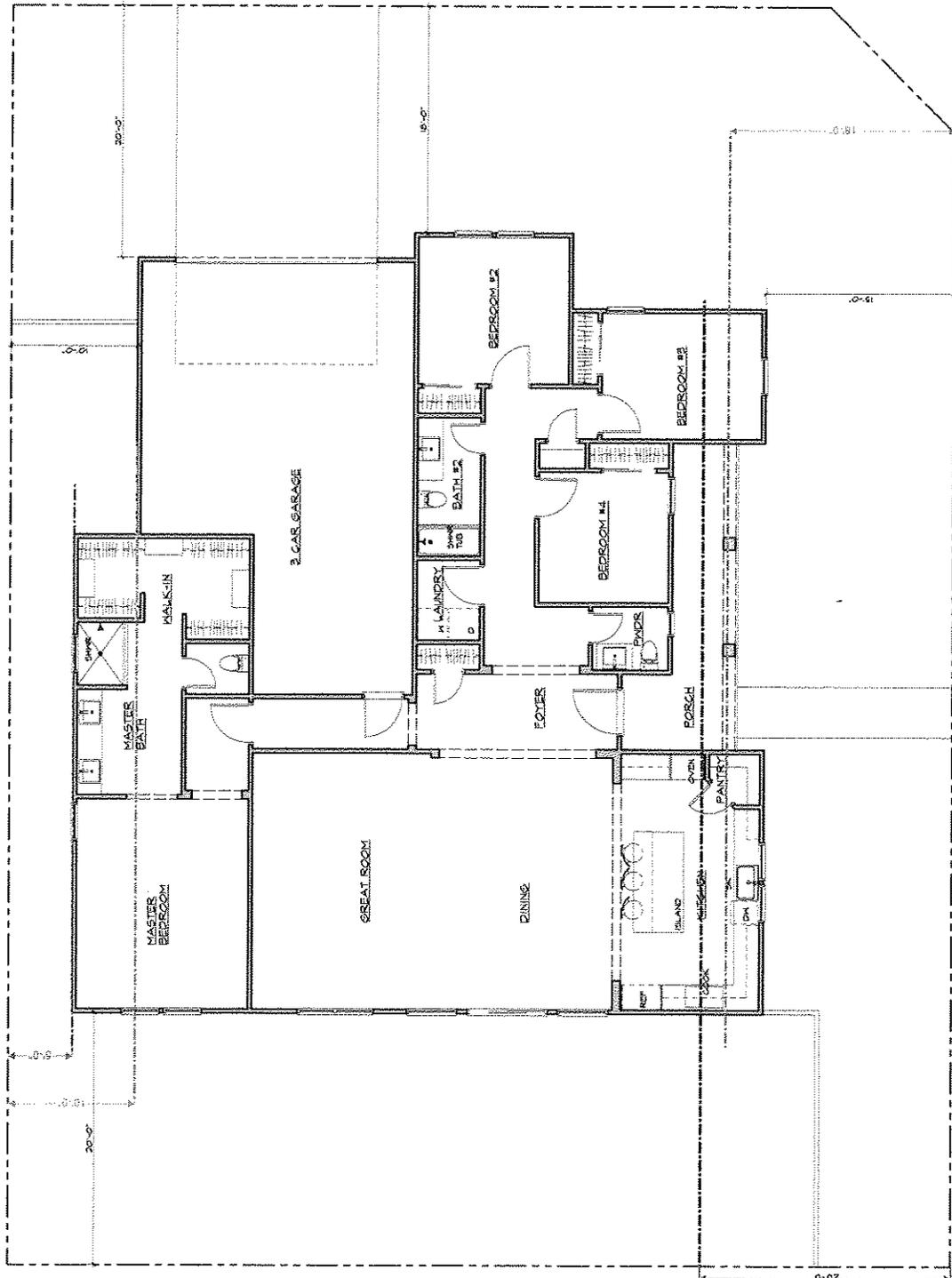
NO.	DATE	DESCRIPTION

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES TO BE DETERMINED AT THE TIME OF PERMITTING.
3. SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
4. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR DETAILS.
5. SEE STRUCTURAL PLANS FOR FOUNDATION AND CONCRETE DETAILS.
6. SEE LANDSCAPE ARCHITECTURE PLANS FOR EXTERIOR DETAILS.
7. SEE INTERIOR DESIGNER PLANS FOR FURNITURE AND FIXTURES.
8. SEE CIVIL ENGINEER PLANS FOR DRIVEWAY AND PAVEMENT DETAILS.
9. SEE GEOTECHNICAL ENGINEER PLANS FOR FOUNDATION AND SOIL REMEDIATION DETAILS.
10. SEE ENVIRONMENTAL ENGINEER PLANS FOR AIR QUALITY AND NOISE CONTROL DETAILS.
11. SEE HISTORIC PRESERVATION ARCHITECT PLANS FOR RESTORATION AND RECONSTRUCTION DETAILS.
12. SEE ARCHITECTURAL RENDERINGS FOR VISUALIZATION OF THE PROJECT.

SHEET TITLE
**FLOOR PLAN
TRADITIONAL
TC1**

JOB NO.
SCALE: 1/8" = 1'-0"
DATE: 08/15/2011
DRAWN BY: J. BROWN
CHECKED BY: S. RUDOLPH

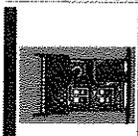
SHEET NO.
TC1-1.0



1 FLOOR PLAN TC1-A

PLANNING
ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
MECHANICAL ENGINEERING
ELECTRICAL ENGINEERING
PLUMBING ENGINEERING
ENVIRONMENTAL ENGINEERING
HISTORIC PRESERVATION ARCHITECTURE

W.D. RUDOLPH
S.E. RUDOLPH
J.S. RUDOLPH
S.D. RUDOLPH



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PROJECT:

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 4. ALL FLOORS TO BE 1/2" GYPSUM BOARD ON JOISTS.
 5. ALL CEILING TO BE 1/2" GYPSUM BOARD ON JOISTS.
 6. ALL ROOF TO BE 2" POLYSTYRENE INSULATION ON TOP OF JOISTS.
 7. ALL ROOF TO BE 2" POLYSTYRENE INSULATION ON TOP OF JOISTS.
 8. ALL ROOF TO BE 2" POLYSTYRENE INSULATION ON TOP OF JOISTS.
 9. ALL ROOF TO BE 2" POLYSTYRENE INSULATION ON TOP OF JOISTS.
 10. ALL ROOF TO BE 2" POLYSTYRENE INSULATION ON TOP OF JOISTS.

**FLOOR PLAN
 TC2**

SHEET TITLE
FLOOR PLAN TC2

SCALE: 1/8" = 1'-0"

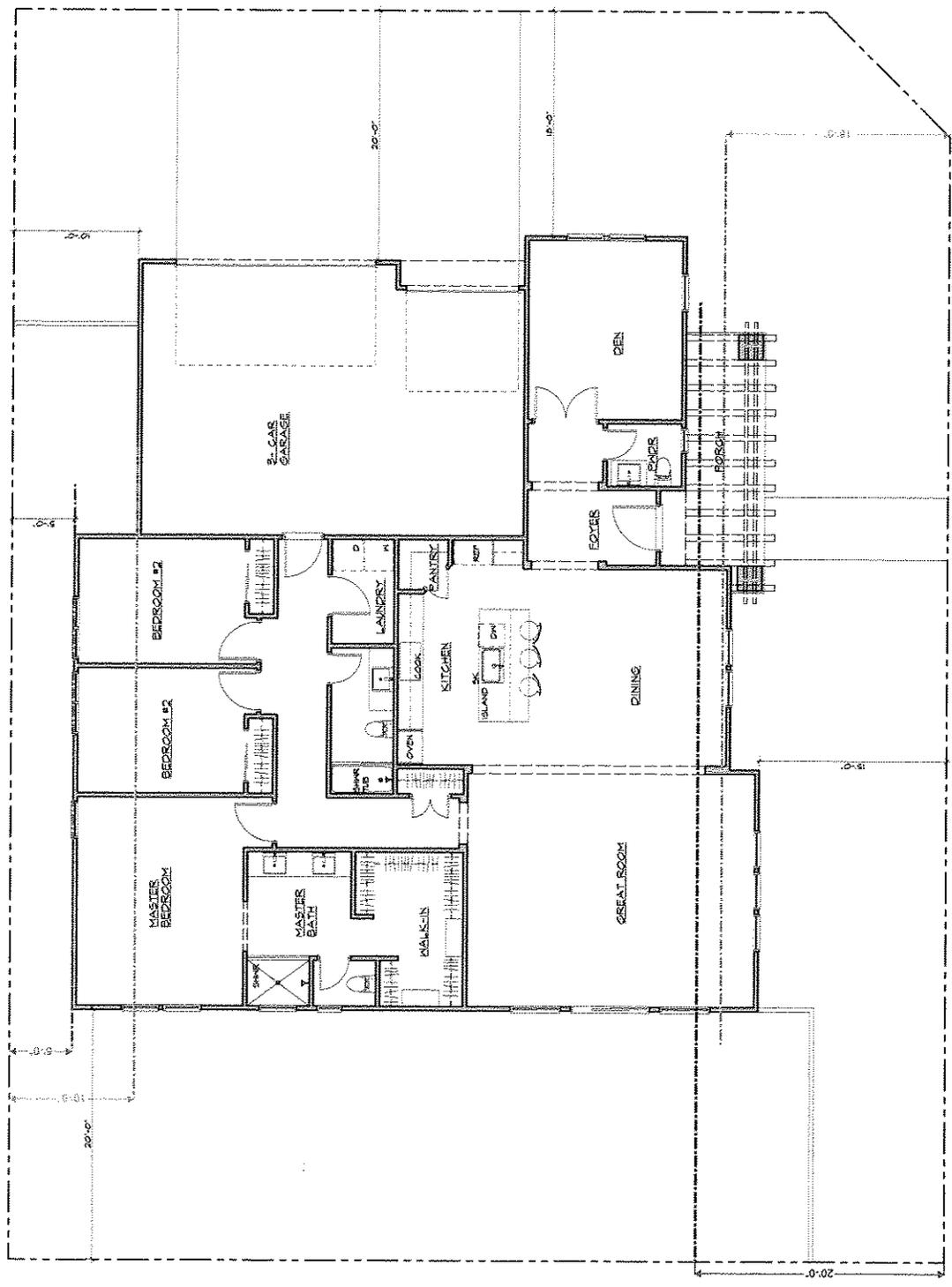
DATE: 10/15/2024

DESIGNED BY: [Name]

DRAWN BY: [Name]

CHECKED BY: [Name]

TC2-1.0



1 FLOOR PLAN TC2-A1

TRANSITIONAL CONTEMPORARY
 3000 SQ FT
 1500 SQ FT
 1500 SQ FT
 1500 SQ FT

CALLAHAN ESTATES

WINTERS, CA.

REAR YARD AREA - ENCROACHMENTS AND SETBACKS REQUESTED

PURPOSE OF PD AMENDMENTS REQUESTED

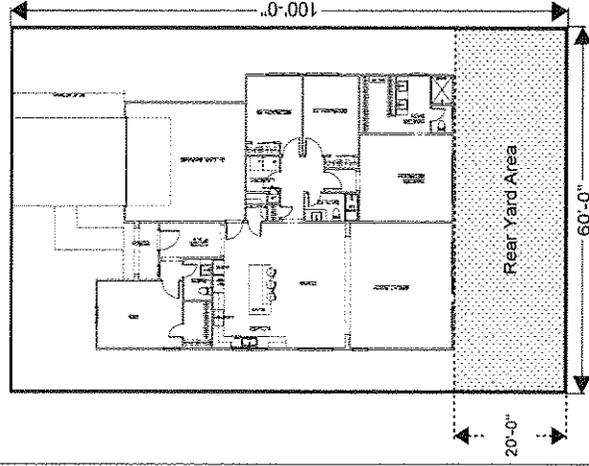
With the increase of homeowner demand to create spacious and functional outdoor living areas, Crowne Communities may offer these options in Callahan Estates or ensure home buyers could build these themselves after moving in.

In order to effectively offer such an array of outdoor living options, we must ensure that we have the entitled "buildable space" that would be accepted by the City of Winters.

Creating these predefined requirements will also decrease the future deviation requests from homeowners wanting to build covered patio structures over and above the existing standards. The planning and zoning related parameters associated with this request consist of establishing the following items:

1. Establishing the allowable amount of encroachment into the 20 foot required rear yard area
2. Modifying the lot coverage ratio if necessary to meet the outdoor living space goal.
3. Establishing setbacks for the covered patio structures (with respect to the adjoining side and rear properties.)

EXAMPLE ILLUSTRATING PLAN T2 ON A 60' x 100' LOT



Rear Yard Encroachment Issue
This plan would not facilitate a rear covered patio without encroaching into the required rear yard area.

Lot Coverage Ratio Issue
Current lot coverage of this plan would not facilitate a covered patio without increasing the allowed lot coverage percentage

This PD Amendment request considers the issues defined above (along with other opportunities) and proposes unique deviation solutions for each plan to be built in Callahan Estates

DRAWING INDEX

1	Cover Page
2	Subdivision Map
3	Site Plans (Special Lots)
4	Alley Plans
5	Plan T1
6	Plan T2
7	Plan T3
8	Plan T4
9	Plan TC1
10	Plan TC2

VICINITY MAP



NO.	DATE	DESCRIPTION

REVISIONS
 1. Establishing the allowable amount of encroachment into the 20 foot required rear yard area
 2. Modifying the lot coverage ratio if necessary to meet the outdoor living space goal.
 3. Establishing setbacks for the covered patio structures (with respect to the adjoining side and rear properties.)

COVER SHEET

DATE: 10/15/2017
 DRAWN BY: [Name]
 SCALE: N/A

CALLAHAN ESTATES

Callahan Communities

RESIDENTIAL DESIGN
 101 W. BROADWAY, SUITE 100
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 TEL: 530.833.1111
 WWW.CALLAHANCOMMUNITIES.COM

A0.1

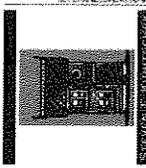
ATTACHMENT C

LOT SQUARE FOOTAGE EVALUATION
(sorted by lot square footage)

Lot	Square Footage	Lot	Square Footage	Lot	Square Footage
1	6000	36	6300	21	6908
2	6000	37	6300	20	6910
3	6000	99	6315	85	6962
4	6000	41	6317	15	6985
5	6000	58	6431	84	7018
6	6000	89	6500	31	7093
7	6000	91	6500	30	7164
10	6000	92	6500	72	7222
11	6000	46	6596	108	7224
12	6000	109	6660	107	7232
90	6000	88	6661	105	7250
74	6015	95	6663	9	7305
75	6015	96	6663	79	7319
76	6015	97	6663	80	7319
77	6015	98	6663	86	7319
78	6015	106	6684	100	7488
81	6015	110	6710	53	7575
82	6015	47	6748	66	7600
83	6015	68	6760	67	7600
13	6019	70	6760	73	7600
49	6177	61	6780	59	7602
48	6181	63	6780	104	7607
50	6194	65	6780	52	7610
51	6211	8	6800	19	7735
54	6240	87	6800	17	7853
55	6240	38	6825	18	7872
56	6240	39	6825	42	7876
57	6240	40	6825	93	8027
62	6240	29	6894	60	8176
64	6240	28	6895	45	8189
69	6240	27	6897	43	9187
71	6240	111	6897	16	9296
14	6287	26	6899	94	9436
32	6300	25	6900	44	12903
33	6300	24	6902	113	13281
34	6300	23	6905		
35	6300	22	6907		

Within the PD Amendment, we are also requesting special consideration for lots 16, 44, and 113. This is to allow the future home buyer to be able to take advantage of these larger lot size to build secondary structures on the lot, such as, additional garage, office, in-law quarters, etc. Please see page SL-1 which simulates a typical layout with the secondary structure and affect on lot coverage.





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 www.stevenskuntzsch.com

PROJECT:

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DATE: 11/10/10
 PREPARED BY: [Signature]

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DATE: 11/10/10

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PROJECT NO: 10-001

DATE: 11/10/10

SCALE: 1/8" = 1'-0"

DATE: 11/10/10

PROJECT: CALLAHAN ESTATES

PROJECT NO: 10-001

DATE: 11/10/10

SCALE: 1/8" = 1'-0"

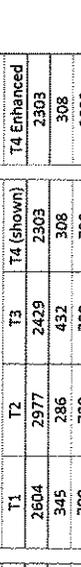
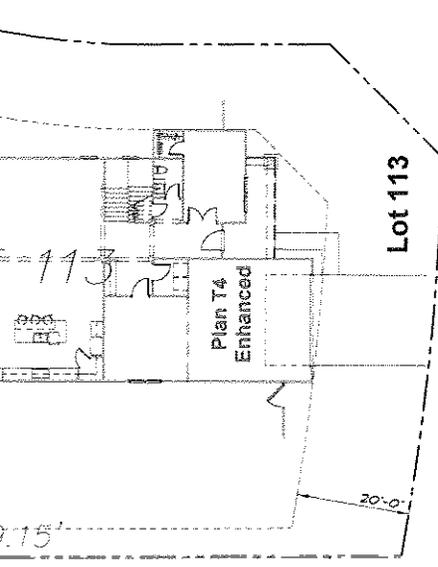
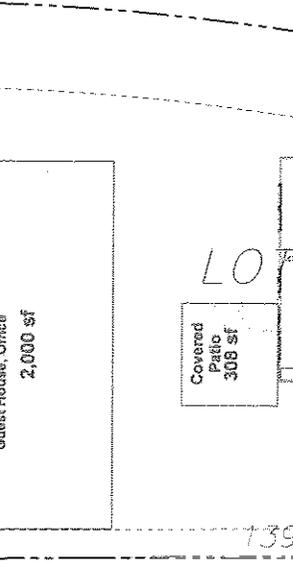
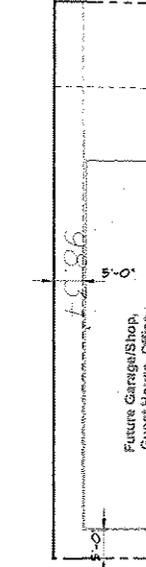
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PROJECT: CALLAHAN ESTATES

PROJECT NO: 10-001

DATE: 11/10/10

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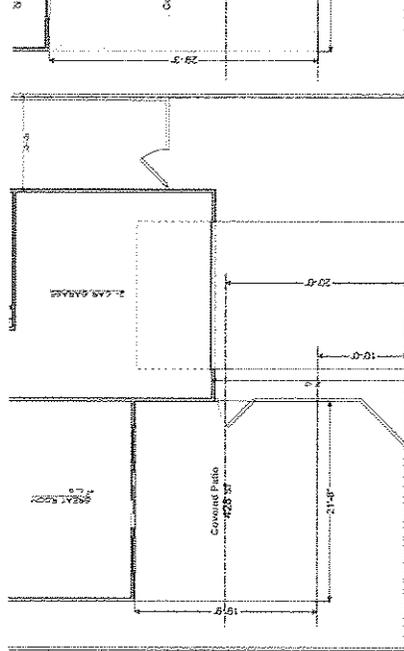
Effects of Lot Coverage Ratio with Future Garage/Shop, Guest House, Office

Lot Number	Lot 16				Lot 113 T4 Enhanced
	T1	T2	T3	T4 (shown)	
Lot Coverage (1st Fl./Gar/Porch)	2604	2977	2429	2303	2303
Attached Covered Patio	345	286	432	308	308
Future Garage/Shop, Guest House, Office	700	700	700	700	2000
Total	3649	3963	3561	3311	4611
Lot Square Footage	9296	9296	9296	9296	13281
Lot Coverage Ratio	39%	43%	38%	36%	35%
Requested Coverage	39%	43%	38%	36%	35%

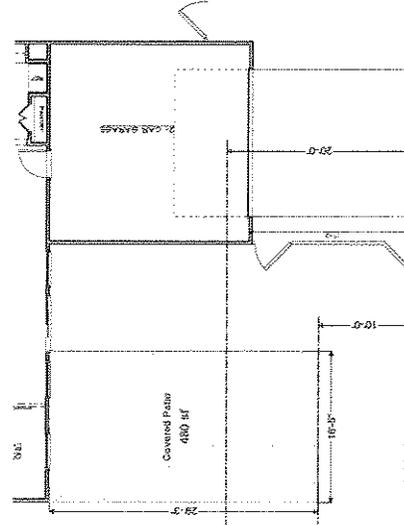
SL-1

Alley Plans Attached Covered Patio Examples

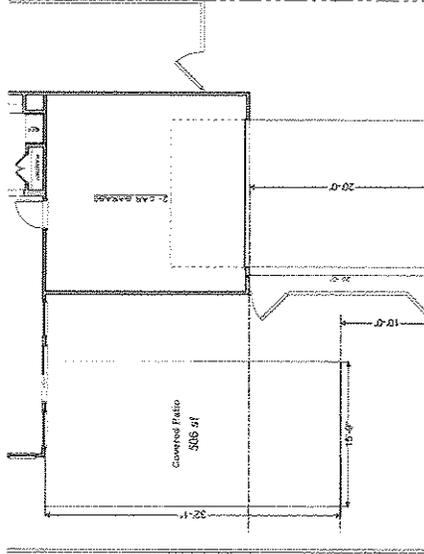
Plan A1



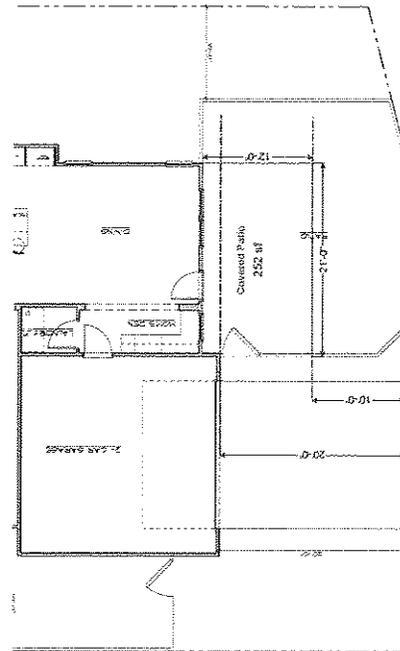
Plan A2



Plan A3



Plan AC



ALLEY LOT PLANS				
INITIAL BASIS DETAIL	PLAN A1	PLAN A2	PLAN A3 (two stry)	PLAN AC
Architectural Lot Size Basis	60' x 105'	65' x 105'	60' x 105'	70' x 105'
Initial Building Footprint Footage (without patio)	2701	2898	2315	2968
Initial Lot Surface Coverage (Without Patio)	42.5%	42.5%	36.7%	40.4%
Lot Coverage Allowed	50.00%	50.00%	45.00%	50.00%
Attached Covered Patio Examples - Dimensions / Details / Analysis illustrated				
Rear Yard Setback to Attached Patio (From Rear Property Line)	10'	10'	10'	10'
Maximum Setback Encroachment (into 10' Rear Setback)	n/a	n/a	n/a	n/a
Patio Depth	19.75	29.25	32.10	12.00
Patio Width	21.67	16.40	15.75	21.00
Total Patio Square Footage	428.00	479.70	505.58	252.00
Patio Encroachment Depth (into 10' Rear Setback)	n/a	n/a	n/a	n/a
Patio Encroachment Width (into 10' Rear Setback)	n/a	n/a	n/a	n/a
Patio Encroachment Square Footage	0.00%	0.00%	0.00%	0.00%
Percentage of Encroachment Area into Rear Yard Setback	0.00%	0.00%	0.00%	0.00%
Additional Lot Coverage Percentage (with patio)	6.79%	7.03%	8.03%	3.43%
Total Coverage (with patio)	49.67%	49.49%	44.77%	43.81%
Plan Specific PD Amendments Requested				
Allowable Percentage of Encroachment Area into 10 Foot Rear Yard Setback (for attached patios)	n/a	n/a	n/a	n/a
Rear Yard Setback for Attached Covered Patios	10 Feet	10 Feet	10 Feet	10 Feet
Side Yard Setback for Attached Covered Patios	5 Feet	5 Feet	5 Feet	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	not to exceed 50%	not to exceed 50%	not to exceed 45%	not to exceed 50%

RESIDENTIAL DESIGN
 1100 W. 10th St.
 Phoenix, AZ 85007
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 kathy@residentialdesign.com
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CALLAHAN ESTATES

NO. DATE DESCRIPTION

REVISIONS

PROJECT

DATE: 11/11/11

PROJECT: 1100 W. 10th St.

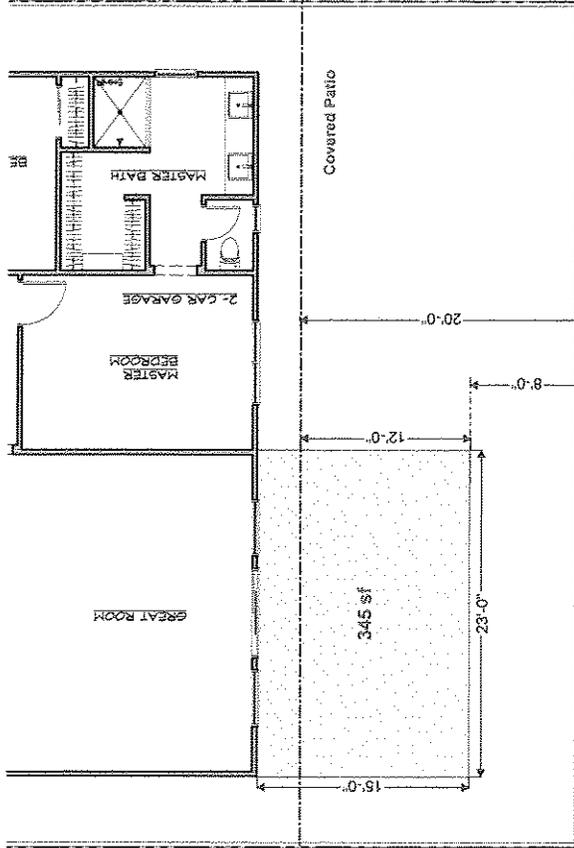
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DATE: 11/11/11

PROJECT: 1100 W. 10th St.

A4.1

Plan T1 Attached Covered Patio Example



INITIAL BASIS DETAIL		PLAN T1
Architectural Lot Size Basis		Example
Initial Building Footprint Footage (without patio)		60' x 100'
Initial Lot Surface Coverage (Without Patio)		2604
Lot Coverage Allowed		43.4%
Minimum Required Rear Yard Area Square Footage		50.00%
Lot Coverage Allowed		1,200
Attached Patio Example - Dimensions / Details / Analysis		
Rear Yard Setback to Attached Patio (From Rear Property Line)		8'
Maximum Setback Encroachment (into 20' Rear Setback)		12'
Patio Depth		15.00
Patio Width		23.00
Total Patio Square Footage		345.00
Patio Encroachment Depth (into 20' Rear Setback)		12.00
Patio Encroachment Width (into 20' Rear Setback)		23.00
Patio Encroachment Square Footage		276.00
Percentage of Encroachment Area into Rear Yard Setback		23.00%
Additional Lot Coverage Percentage (with covered patio)		5.75%
Total Coverage (with attached covered patio)		49.15%

REQUESTED PD PERMIT DETAIL	PLAN T1
Allowable Percentage of Encroachment Area into 20 Foot Rear Yard Setback (For attached patios)	25.00%
Rear Yard Setback for Attached Covered Patios	8 Feet
Side Yard Setback for Attached Covered Patios	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	50.00%



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 174.525.2344.1167
 info@residentialdesign.com
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PROJECT:

SHEET TITLE:
**FLOOR PLAN
T1**

DATE: 08/28/2023

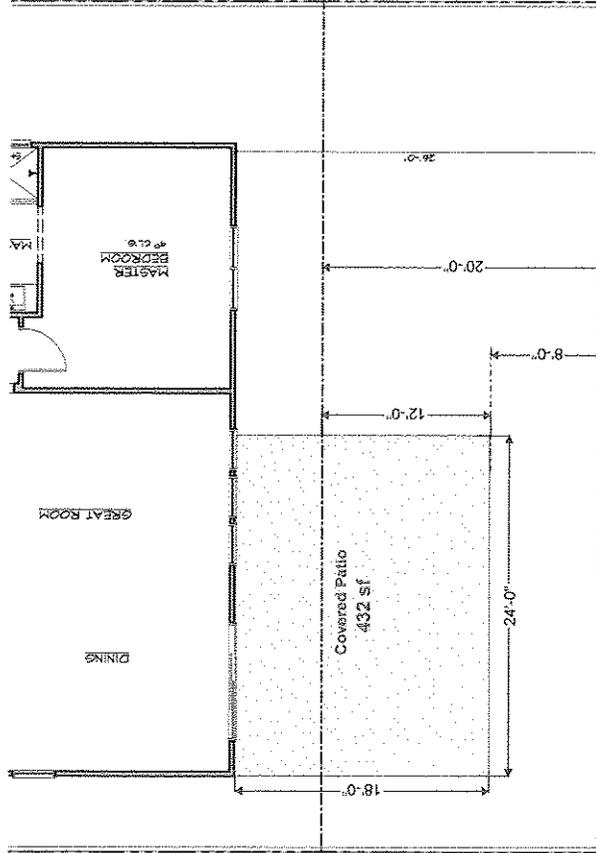
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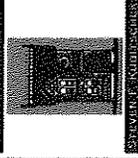
SHEET NO:
A4.1

Plan T3 Attached Covered Patio Example



INITIAL BASIS DETAIL		PLAN T3 (two-story)
		Example
Architectural Lot Size Basis		60' x 100'
Initial Building Footprint Footage (without patio)		2429
Initial Lot Surface Coverage (Without Patio)		40.5%
Lot Coverage Allowed		45.00%
Minimum Required Rear Yard Area Square Footage		1,200
Attached Patio Example - Dimensions / Details / Analysis		
Rear Yard Setback to Attached Patio (From Rear Property Line)		8'
Maximum Setback Encroachment (into 20' Rear Setback)		12'
Patio Depth		18.00
Patio Width		24.00
Total Patio Square Footage		432.00
Patio Encroachment Depth (into 20' Rear Setback)		12.00
Patio Encroachment Width (into 20' Rear Setback)		24.00
Patio Encroachment Square Footage		288.00
Percentage of Encroachment Area into Rear Yard Setback		24.00%
Additional Lot Coverage Percentage (with covered patio)		7.20%
Total Coverage (with attached covered patio)		47.68%

REQUESTED PD PERMIT DETAIL	PLAN T3 (two-story)
Allowable Percentage of Encroachment Area into 20 Foot Rear Yard Setback (For attached patios)	25.00%
Rear Yard Setback for Attached Covered Patios	8 Feet
Side Yard Setback for Attached Covered Patios	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	48.00%



THE CALIFORNIA ARCHITECTURE BOARD
 LAPORTE, CA
 1745 W. 10TH STREET, SUITE 107
 www.callahanestates.com

PROJECT

Callahan
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SHEET TITLE

1ST FLOOR
 FLOOR PLAN
 T3

SCALE: 1/8" = 1'-0"

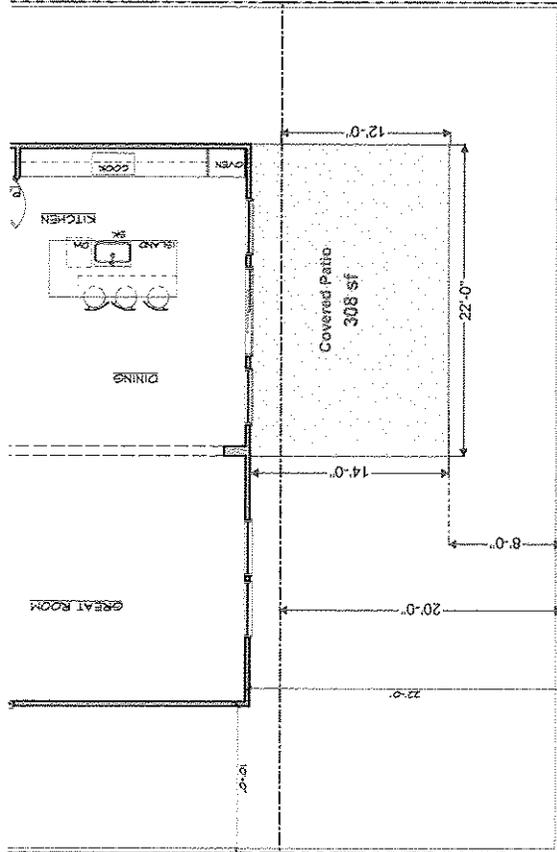


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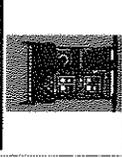
A4.1

Plan T4 Attached Covered Patio Example



INITIAL BASIS DETAIL		PLAN T4 (two-story)
		Example
Architectural Lot Size Basis		60' x 100'
Initial Building Footprint Footage (without patio)		2,303
Initial Lot Surface Coverage (Without Patio)		38.4%
Lot Coverage Allowed		45.00%
Minimum Required Rear Yard Area Square Footage		1,200
Attached Patio Example - Dimensions / Details / Analysis		
Rear Yard Setback to Attached Patio (From Rear Property Line)		8'
Maximum Setback Encroachment (into 20' Rear Setback)		12'
Patio Depth		14.00
Patio Width		22.00
Total Patio Square Footage		308.00
Patio Encroachment Depth (into 20' Rear Setback)		12.00
Patio Encroachment Width (into 20' Rear Setback)		22.00
Patio Encroachment Square Footage		264.00
Percentage of Encroachment Area into Rear Yard Setback		22.00%
Additional Lot Coverage Percentage (with covered patio)		5.13%
Total Coverage (with attached covered patio)		43.52%

REQUESTED PD PERMIT DETAIL	PLAN T4 (two-story)
Allowable Percentage of Encroachment Area into 20 Foot Rear Yard Setback (For attached patios)	25.00%
Rear Yard Setback for Attached Covered Patios	8 Feet
Side Yard Setback for Attached Covered Patios	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	45.00%



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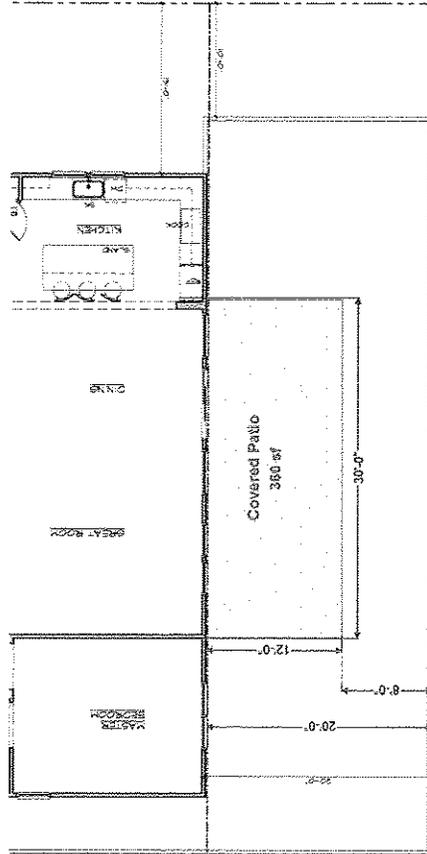
NO.	DATE	DESCRIPTION

SHEET TITLE
1ST FLOOR FLOOR PLAN
T4

SHEET No.
 SCALE: 1/4"=1'-0"
 DATE: 10/11/11
 DRAWN BY: J. GARDNER
 CHECKED BY: J. GARDNER

A4.1

Plan TC1 Attached Covered Patio Example



INITIAL BASIS DETAIL	PLAN TC1 Example
Architectural Lot Size Basis	75' x 100'
Initial Building Footprint Footage (without patio)	3133
Initial Lot Surface Coverage (Without Patio)	41.8%
Lot Coverage Allowed	50.00%
Minimum Required Rear Yard Area Square Footage	1,500
Attached Patio Example - Dimensions / Details / Analysis	
Rear Yard Setback to Attached Patio (From Rear Property Line)	8'
Maximum Setback Encroachment (into 20' Rear Setback)	12'
Patio Depth	12.00
Patio Width	30.00
Total Patio Square Footage	360.00
Patio Encroachment Depth (into 20' Rear Setback)	12.00
Patio Encroachment Width (into 20' Rear Setback)	30.00
Patio Encroachment Square Footage	360.00
Percentage of Encroachment Area into Rear Yard Setback	24.00%
Additional Lot Coverage Percentage (with covered patio)	4.80%
Total Coverage (with attached covered patio)	46.57%

REQUESTED PD PERMIT DETAIL	PLAN TC1
Allowable Percentage of Encroachment Area into 20 Foot Rear Yard Setback (For attached patios)	25.00%
Rear Yard Setback for Attached Covered Patios	8 Feet
Side Yard Setback for Attached Covered Patios	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	50.00%



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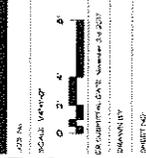
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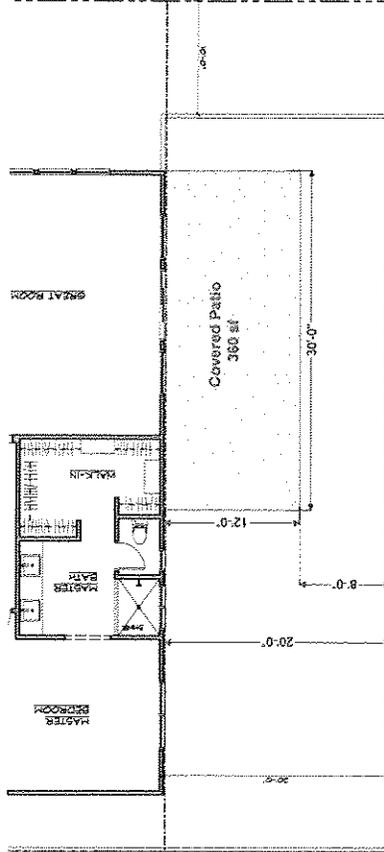
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FLOOR PLAN
 TRADITIONAL
 TC1



A4.1

Plan TC2 Attached Covered Patio Example



INITIAL BASIS DETAIL		PLAN TC2 Example
Architectural Lot Size Basis		75' x 100'
Initial Building Footprint Footage (without patio)		3148
Initial Lot Surface Coverage (Without Patio)		42.0%
Lot Coverage Allowed		50.00%
Minimum Required Rear Yard Area Square Footage		1,500
Attached Patio Example - Dimensions / Details / Analysis		
Rear Yard Setback to Attached Patio (From Rear Property Line)		8'
Maximum Setback Encroachment (Into 20' Rear Setback)		12'
Patio Depth		12.00
Patio Width		30.00
Total Patio Square Footage		360.00
Patio Encroachment Depth (Into 20' Rear Setback)		12.00
Patio Encroachment Width (Into 20' Rear Setback)		30.00
Patio Encroachment Square Footage		360.00
Percentage of Encroachment Area Into Rear Yard Setback		24.00%
Additional Lot Coverage Percentage (with covered patio)		4.80%
Total Coverage (with attached covered patio)		46.77%

REQUESTED PD PERMIT DETAIL	PLAN TC2
Allowable Percentage of Encroachment Area into 20 Foot Rear Yard Setback (For attached patios)	25.00%
Rear Yard Setback for Attached Covered Patios	8 Feet
Side Yard Setback for Attached Covered Patios	5 Feet
Maximum Allowed Lot Coverage (with Attached Patio)	50.00%

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