

CITY OF WINTERS REGULAR PLANNING COMMISSION AGENDA

Tuesday, July 25, 2017 @ 6:30 PM
City of Winters Council Chambers
318 First Street
Winters, CA 95694-1923
Community Development Department
Contact Phone Number (530) 794-6713
Email: dave.dowswell@cityofwinters.org

Chairperson: Vacant
Vice Chairman: Paul Myer
Commissioners: Dave Adams, Lisa Baker,
Patrick Riley, Gregory Contreras
City Manager: John W. Donlevy, Jr.
Management Analyst, Dago Fierros

- I. CALL TO ORDER
- II. ROLL CALL & PLEDGE OF ALLEGIANCE
- III. CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.
- V. CONSENT ITEM
 - A. Minutes of the June 13, 2017 special meeting of the Planning Commission.
- V. STAFF/COMMISSION REPORTS
- VI. DISCUSSION ITEMS:
 - A. Site Plan and Design Review - Phase 1 models homes for Winters Highlands
 - B. Study Session – Discussion involving current policy and zoning setbacks requirements for Dry Creek and Putah Creek and expansion of nonconforming structures.
 - C. Selection of Chairperson.
 - D. Selection of new member to represent the Planning Commission on the Affordable Housing Street Committee.
- VII. COMMISSION/STAFF COMMENTS
- VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON JULY 20, 2017


DAVID DOWSWELL, COMMUNITY DEVELOPMENT DEPARTMENT PLANNER

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN

CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

THE COUNCIL CHAMBER IS WHEELCHAIR ACCESSIBLE

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
JUNE 13, 2017**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chair Frazier called the meeting to order at 6:30 p.m.

PRESENT: Commissioners Adams, Contreras, Riley, Vice Chairperson Myer, Chairperson Frazier

ABSENT: Commissioner Baker

STAFF: City Manager John Donlevy, Economic Development and Housing Manager Dan Maguire, Contract Planner Dave Dowswell, Management Analyst Dagoberto Fierros

Vice Chairperson Myer led the pledge of allegiance.

CITIZEN INPUT: None.

CONSENT ITEM: Minutes of the May 23, 2017 meeting of the Planning Commission.

Commissioner Contreras moved to approve the minutes.

Commissioner Myer seconded.

AYES: Commissioners Adams, Contreras, Riley Myer, Vice Chairperson Myer, Chairperson Frazier

NOES: None

ABSTAIN: None

ABSENT: Commissioner Baker

Motion carried unanimously.

STAFF/COMMISSION REPORTS:

Commissioner Myer attended Fourth Friday Street Festival on May 26, 2017 and attending the Memorial Day Ceremony at the Winters Cemetery. Myer also attended the Elder Day Celebration.

DISCUSSION ITEM:

- A. Public Hearing and Consideration of the Affordable Housing Plan for the revised Tentative Subdivision (Olive Grove) Map to subdivide 4.21 acres into 21 lots. The property is located off Apricot Avenue and Hemenway Street.

COMMISSIONER/STAFF COMMENTS:

Economic Development and Housing Manager Dan Maguire presented the Affordable Housing Plan for the Olive Grove subdivision and engaged in a discussion with the Planning Commission.

Commissioner Myer moved to make a recommendation to the Winters City Council in support of the Affordable Housing Plan for the "Olive Grove" subdivision.

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD
JUNE 13, 2017**

Commissioner Adams seconded.

AYES: Commissioners Adams, Contreras, Riley Myer, Vice Chairperson Myer, Chairperson Frazier

NOES: None

ABSTAIN: None

ABSENT: Commissioner Baker

Motion carried unanimously.

- B. Public Hearing and Consideration of the Amended and Restated Development Agreement for development of the property, commonly known as the Creekside Estates, between the City of Winters and Catholic Bishop of Sacramento, a California Corporation. The property is located on the south side of Grant Avenue/SR 128 and borders Dry Creek.

COMMISSIONER/STAFF COMMENTS:

Contract Planner Dave Dowswell presented the Amended and Restated Development Agreement to the Planning Commission. The developers asked that the current Development Agreement, which expires in December of 2019, be extended until 2022. Discussion ensued.

Commissioner Myer moved that the Planning Commission recommend the Winters City Council to approve the Amended and Restated Development agreement with changes.

Commissioner Contreras Seconded.

AYES: Commissioners Adams, Contreras, Riley, Vice Chairperson Myer, Chairperson Frazier

NOES: None

ABSTAIN: None

ABSENT: Baker

Motion carried unanimously.

ADJOURNMENT: Chairperson Frazier adjourned the meeting at 7:22pm.

ATTEST: _____

Dagoberto Fierros, Management Analyst

Kate Frazier, Chairperson



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: July 25, 2017
FROM: Dave Dowswell, Contract Planner 
SUBJECT: Public Hearing and Consideration of Design/Site Plan Review 2017- 03 for Phase 1 (73 lots) of Winters Highlands Subdivision. Under review will be the 43 alley-loaded lots and 30 standard lots.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- 1) Receive the staff report; and
- 2) Conduct the Public Hearing to solicit public comment; and
- 3) Approve Design/Site Plan Review for the Hudson-Ogando Subdivision Models.

BACKGROUND: In April 2006 the City Council entered into a Development Agreement (DA) involving the Winters Highlands Subdivision. A First Amendment to the DA was approved in November 2006 and a Second Amendment in January 2009.

Early in 2014 staff met with representatives of Homes by Towne dba as GBH-Winters Highlands, LLC regarding their possible acquisition of the Winters Highlands Subdivision and to discuss further amendments to the 2006 DA.

On January 5, 2015 the Planning Commission recommended the City Council approve an Amended and Restated Development Agreement between the City of Winters and GBH-Winters Highlands, LLC. On January 20, 2015 the City Council approved the Amended and Restated Development Agreement. Included with the approval the Council also amended a number of the Conditions of Approval relating to design. In April 2015, GBH-Winters Highlands, LLC (applicant), purchased the property.

On March 12, 2017 preliminary designs were submitted to staff to review for consistency with the Winters Highlands Architectural Guidelines. Comments were sent

to the applicant and the architect on March 14, 2017. On July 6, 2017 the applicant submitted an application for design/site plan review approval for the model homes for Phase 1 of the Stone Throw (Winters Highlands) (Attachment A).

On July 13, 2017 the Design Review Committee (DRC) met and reviewed the design of the model homes. Staff discussed with the DRC comments on the updated designs. In addition, the following comments were made by DRC members:

1. Design of entry opening to porch on Plan 5D and 5BR provides possible hiding area.
2. Consider fiberglass instead of vinyl window framing with color variations that match exterior color schemes.
3. Design homes with have flush thresholds; make visitable.
4. Consider designing a model that is a "universal design" of threshold and bathroom.
5. Ensure there will be a diversity of plans and elevations as homes are sold.
6. Design fences not to have a third/center rail, making them less easy to climb.

PROJECT DESCRIPTION: The applicant submitted an application for Design/Site Plan Review for 73 single family homes (Phase 1) of the Stones Throw Subdivision. The site plan and design review is for 43 alley-loaded lots and 30 standard lots. The Planning Commission will take final action on the project unless appealed to the City Council.

The entire project site is 102.6 acres; it is General Planned Low Density Residential (LR), Medium Density Residential (MR), Medium/High Density Residential and High Density Residential (HR) is zoned Single-Family Residential (R-1), Single-Family Residential (R-2), Multi-Family Residential (R-3) and High Density Residential (R-4). The site is located in the northwestern portion of Winters, north of the Winters Ranch and Callahan Estates, off the future extension of Main Street.

The homes are three basic styles, "Country Ranch", "California Cottage" and "Craftsman". There will be five models with three elevations of each model. The building facades include horizontal siding, stucco, and reverse board-and-batt. Many of the models include a stone veneer and shutters. Some elevations include pot-shelves. Building colors, including the roofs, will vary by façade type and consist of earth tones and natural materials working together to create a cohesive relationship with existing surrounding buildings.

DESIGN/SITE PLAN REVIEW: Winters Municipal Code, Chapter 17.36 (Design Review) (Section 17.36.020C), states "New construction of any single-family residential units is subject to design review." According to the Design Review provisions, the Planning Commission shall consider the following aspects for design review of a site plan:

- The overall visible mass of the structure, which includes height, roofline

- profiles and overall scale of a building; and
- The proposed use and quality of exterior construction materials striving for long-term compatibility with the general setting of the subject property and visual character of the general neighborhood; and
- Avoidance of buildings which are characterized by large, blank or unbroken wall planes, as well as buildings which exhibit general lack of architectural detailing, shadow lines, etc. which generally lack interest; and
- Effective screening of ground – and – roof mounted equipment; and
- The use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development, as necessary; and
- The application of the Winters Design Guidelines

The Planning Commission shall make findings relative to compliance with the above provisions prior to approving a design/site plan review.

ANALYSIS: The following discussion regarding the design of the model homes is based on staff's review of the Conditions of Approval 60 through 65 (shown below in italics) and their consistency with the Winters Highlands (Stones Throw) Architectural Guidelines (Attachment B).

Architecture

Design Review Conditions of Approval

60. *In order to achieve architectural diversity, the developer shall offer four floor plans and 12 elevations (three per plan) for each new model phase, consistent with the Winters Highlands Architectural Guidelines.* The applicant submitted five different model plans with three elevations per plan.
61. *A minimum of half of the required elevations shall include brick or stone veneer wainscot which wraps around all sides of the structure so that it terminates where the yard fencing begins consistent with the Winters Highlands Architectural Guidelines.* Fourteen out of the 15 elevations have a brick or stone veneer wainscot that wrap around to where the yard fencing begins.
62. *Each elevation for a particular floor plan shall be distinctive, with a unique roof design, architectural detailing, and application of exterior materials consistent with the Winters Highlands Architectural Guidelines. Single story and two-story plans shall be varied.* Each elevation has been designed to be distinctive through the use of varied materials, roof styles, veneers and colors.
63. *The same (or substantially similar) elevation may appear no more than twice on one side of a block, or three times on either side of facing blocks, and may not be opposite or kitty-corner from the same elevation on the opposite side of the block. In addition, no more than ten percent of the homes can share the same elevation*

within a development. The applicant is aware of this restriction. Staff will be working with the applicant during the layout of the homes to make sure this condition is met.

64. *A minimum of 50 percent of all detached units shall have prominent useable architectural features such as courtyards, porches or balconies, consistent with the Winters Highlands Architectural Guidelines.* Nine of the 15 models have either porches, courtyards or both.
65. *Units on opposing sides of a street shall be compatible in terms of design and color.* All five models have been design with three similar styles of architecture.

The proposed building designs consist of three plans for the standard lots and two plans for the alley-loaded lots. Each of the five model plans will have three different elevations. Staff recommends the following additional changes:

1. Plans 1A and 1B Enhanced Elevations. Add shutters to the larger window closest to the corner.
2. Plan 3 Rear Elevation. Pop out a portion of the second floor (possibly closet) to break up the flatness.
3. Plan 3B. Add shutters to a window on the second floor of the right and left elevations.
4. Plan3. Provide enhanced elevations.
5. Plan 5A, 5B and 5D Right Elevation. Add shutters to the single window in the center of the second floor. (See Plan 5E second floor.)
6. Plan 5C shows a shutter on second floor window on the rear elevation. This model has no shutters on the front elevation.

DRC comments

1. *Design of entry opening to porch on Plan 5D and 5BR provides possible hiding area.* The entry area onto the porch is designed with a thicker column, which may provide an area where someone could hide behind. Suggest revising.
2. *Consider fiberglass instead of vinyl window framing with color variations that match exterior color schemes.* All of the windows are currently proposed to be white and vinyl clad. Fiberglass finish was suggested because it is a more durable material and can come in a variety of colors which are complimentary to the house exterior colors.
3. *Design homes with have flush thresholds; make visitable.* Designing the houses with flush threshold at the entry door would make the homes more visitable.
4. *Consider designing a model that is a "universal design" of threshold and bathroom.* Condition #76 of Subdivision Map states, "Universal design features shall be incorporated as an option in residential units. These features shall

include first floor passage doors and hallways, a handicap accessible path of travel from either the driveway or sidewalk to the entrance of the residential units, and other features determined by the Community Development Department”.

5. *Ensure there will be a diversity of plans and elevations as homes are sold.* Condition #63 mentioned above requires there be a diversity of plan types and elevations.
6. *Design fences not to have a third/center rail, making them less easy to climb.* Pools are required to be fenced to protect people from entering the pool area. Having a third/horizontal middle rail on the fencing makes it easier for someone to climb the fence.

The applicant’s architect will be addressing the comments from staff and the DRC at the planning commission meeting. Overall staff supports the exterior design of the models, as shown in Attachment A, and finds them to be consistent with the Winters Highlands Architectural Guidelines.

Landscaping and Fencing – The City requires all new homes to provide front yard landscaping with an irrigation system and perimeter fencing for all new homes. The applicant has requested deferral of this item at this hearing. Staff recommends staff be allowed to approve the landscaping and fencing administratively. Fencing shall be designed as a “good neighbor” fence. Recommend using steel posts faced with wood to reduce long-term maintenance costs.

PROJECT NOTIFICATION: Public notice advertising for the public hearing on this planning application was prepared by the Community Development Department’s Management Analyst in accordance with notification procedures set forth in the City of Winters’ Municipal Code and State Planning Law. Two methods of public notice were used: a legal notice was published in the Winters Express on 07/13/17 and notices were mailed to all property owners who own real property within three hundred feet of the project boundaries at least ten days prior to the hearing. Copies of the staff report and all attachments for the proposed project have been on file, available for public review at City Hall since 07/20/17.

ENVIRONMENTAL ASSESSMENT: An Environmental Impact Report was prepared for this project and certified by the City Council on April 4, 2006 (Resolution 2006-08).

ALTERNATIVES: The Planning Commission can elect to modify any aspect of the approval or recommend denial of the application. If the Planning Commission denies the application findings would be needed for the official record that would illustrate the reasoning behind the decision to deny the project.

RECOMMENDED FINDINGS FOR STONES THROW – SITE PLAN/DESIGN REVIEW

CEQA Findings:

- 1) The proposed project (design review of model homes) is exempt from review under the California Environmental Quality Act (CEQA) Guidelines, Section 15061.

Design Review Findings:

- 1) The proposed project's overall visible massing, which includes height, roofline profiles and overall scale of the building meets the intent of the Winters Highlands Architectural Guidelines and the Winters Design Guidelines.
- 2) The proposed project's use of quality of exterior construction materials is compatible with the general setting of the subject property and visual character of the general neighborhood.
- 3) The proposed project avoids the use of large, blank or unbroken wall planes and architectural detailing such as shadow lines, etc. which generally lack interest.
- 4) The proposed project provides effective use of screening of ground mounted equipment.
- 5) The proposed project provides effective use of landscaping, which provides effective softening of the development.
- 6) The proposed project achieves conformity with the Winters Highlands Architectural Guidelines and the Winters Design Guidelines.

RECOMMENDATION: Staff recommends approval of the Site Plan/Design Review by making an affirmative motion as follows:

I MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION APPROVE DESIGN REVIEW/SITE PLAN FOR THE STONES THROW SUBDIVISION BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:

- Confirmation of exemption from the provisions of CEQA.
- Approve Design Review/Site Plan subject to the conditions of approval attached hereto.

ATTACHMENTS:

- A. Design Review Exhibits
- B. Winters Highlands (Stones Throw) Architectural Guidelines
- C. Conditions of Approval



SHEET INDEX

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- 4405 EXTENSION ELEVATIONS 1A
- 4406 EXTENSION ELEVATIONS 1B
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SHEET # SHEET TITLE

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- 4475 EXTENSION ELEVATIONS 8D
- 4476 ENHANCED EXT ELEVATIONS 8E



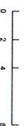
Architecture + Planning
888.456.5849
ktby.com



Homes By Towne
14000 S. Bascom Blvd. Ste. 150
Palo Alto, CA 94303

STONE'S THROW
WINTERS, CA #2016-0982

SCHEMATIC DESIGN
07/19/2017



COVER SHEET



Architecture + Planning
868 525-5848
ktgy.com



Homes by Towne
11080 White Rock Rd. Ste. 150
Fountain Valley, CA 92708

STONES THROW
WINTERS, CA

42016-0282

SCHEMATIC DESIGN
07-18-17



TAYLOR STREET
STREET SCENE

A0-00



ELEVATION 58R - CALIFORNIA COTTAGE

ELEVATION 4CR - TRADITIONAL

ELEVATION 4D - COUNTRY RANCH

ELEVATION 5A - CRAFTSMAN

ELEVATION 4B - CALIFORNIA COTTAGE



ELEVATION 5C - TRADITIONAL

ELEVATION 5DR - COUNTRY RANCH

ELEVATION 4AR - CRAFTSMAN

ELEVATION 4C - TRADITIONAL

ELEVATION 5E - ALL SIDED CRAFTSMAN



Architecture + Planning
888.565.5648
ktgy.com



Homes By Towne
11080 White Rock Rd. Ste. 190
Rancho Caliente, CA 94570

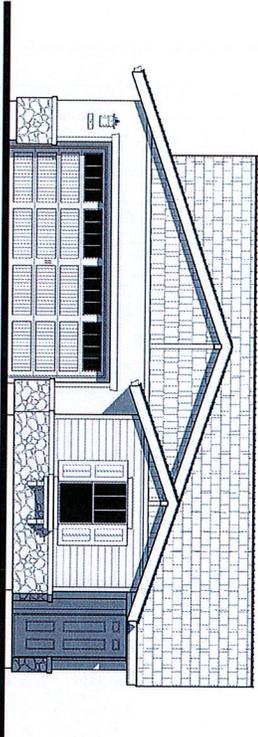
STONES THROW
WATERS, CA

#2016-0282

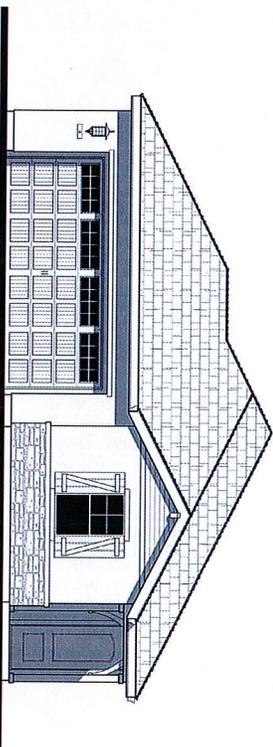
SCHEMATIC DESIGN
07-18-17



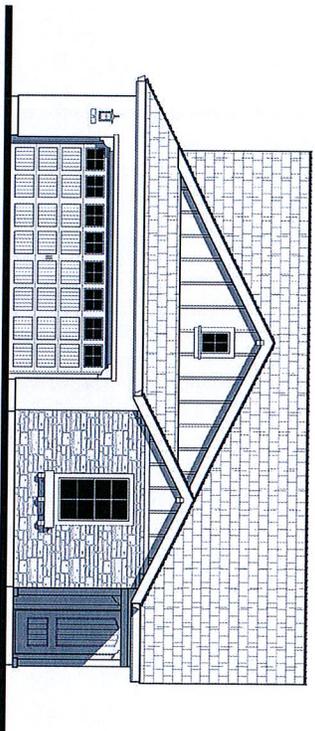
MAIN STREET
STREET SCENE



ELEVATION '1A' - CRAFTSMAN



ELEVATION '1B' - CALIFORNIA COTTAGE



ELEVATION '1D' - COUNTRY RANCH



Architecture + Planning
 10000 Wilshire Blvd
 Suite 1000
 Beverly Hills, CA 90210
 ktgy.com



Homes By Towne
 10000 Wilshire Blvd, Ste. 100
 Beverly Hills, CA 90210

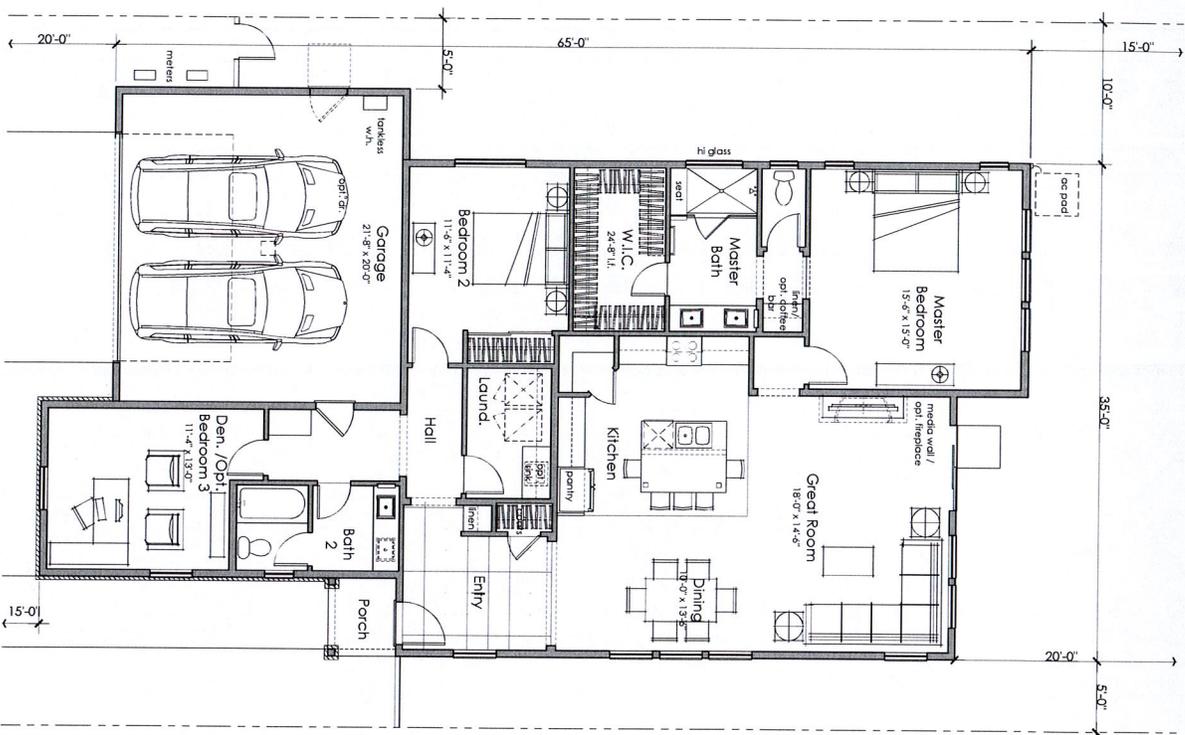
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 WINTERS, CA

#2019-0282

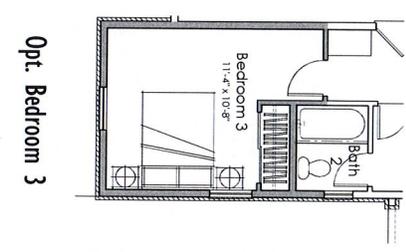
SCHEMATIC DESIGN
 07.18.17



PLAN 1 FRONT ELEVATIONS



50' x 100'
Front Loaded
First Floor
Floor Plan
2 Bedrooms + Den./
Opt. Bedroom 3
2 Baths
1,780 s.f.



Architecture + Planning
 888.456.5849
 ktgy.com



Home By Towne
 11960 White Rock Rd. Ste. 150
 Rancho Cordova, CA 95670

STONE'S THROW
 WINTERS, CA
 #2016-0822

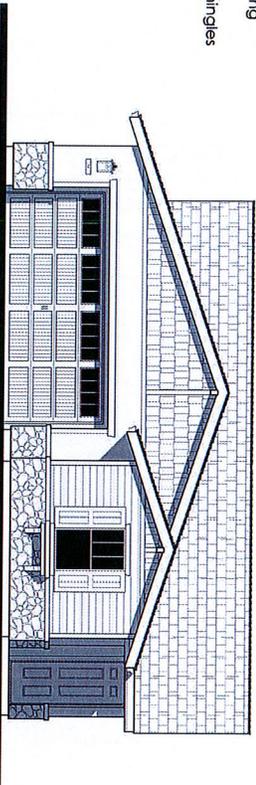
SCHEMATIC DESIGN
 07/19/2017



PLAN 1 FIRST FLOOR PLAN

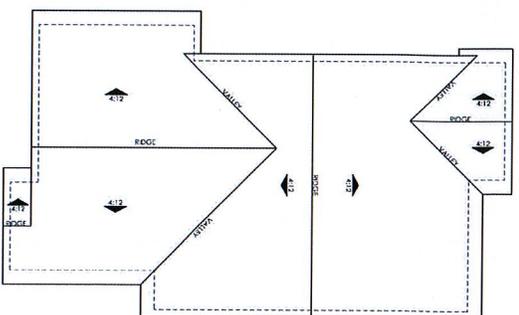
A1-01

- Craftsman**
Material Legend:
 Flat Concrete tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



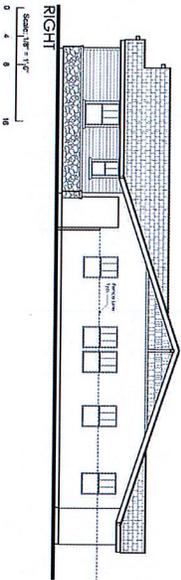
ELEVATION '1A' - CRAFTSMAN

Scale: 1/8" = 1'-0"
 0 2 4 8



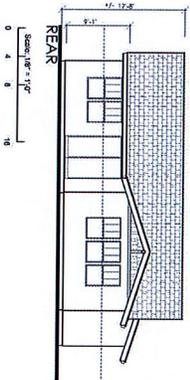
ROOF PLAN 1A
 DRAWING: JAC
 DATE: 07/18/17
 PROJECT: 4121UNO

Scale: 1/8" = 1'-0"
 0 4 8 16



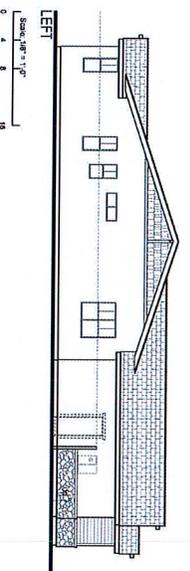
RIGHT

Scale: 1/8" = 1'-0"
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
 0 4 8 16



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Homes by Towne
 17000 Wine Rock Rd, Ste. 150
 Irvine, California, CA 92610

STONES THROW
 WINTERS, CA

#2019-0282

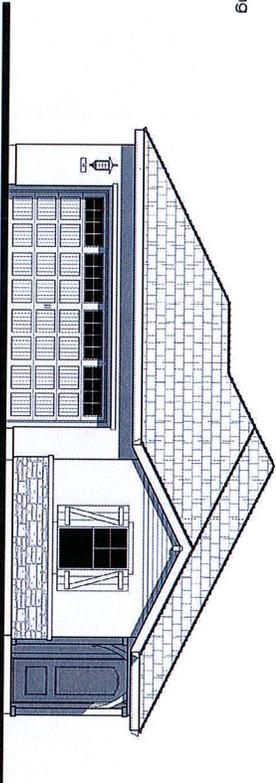
SCHEMATIC DESIGN
 07/18/17

0 2 4 8

EXTERIOR ELEVATIONS 1A

A1-02

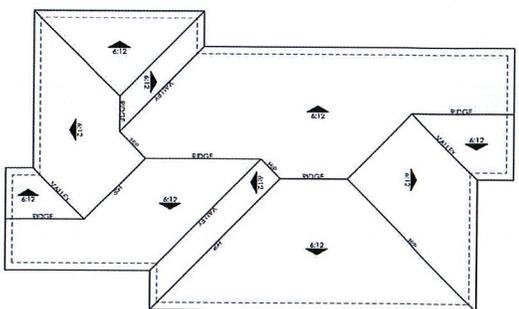
- California Cottage
- Material Legend:
- Flat Concrete Tile Roofing
- Stucco Finish
- Cementitious Siding
- Shutters
- Decorative Wood Posts
- Enhanced Sills
- 2x4 Stucco Finish Trim



ELEVATION '1B' - CALIFORNIA COTTAGE

Scale: 1/8" = 1'-0"

0 2 4 8



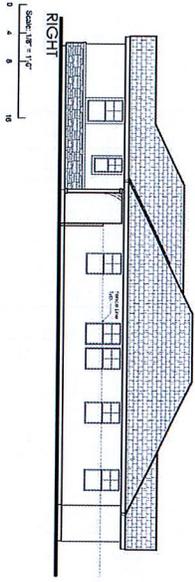
ROOF PLAN 1B

OVERLAP: 1/2"

ROOF PITCH: 12/12 UNID

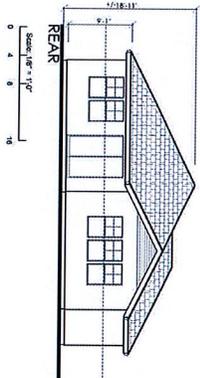
Scale: 1/8" = 1'-0"

0 2 4 8 16



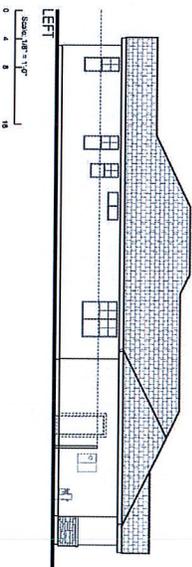
Scale: 1/8" = 1'-0"

0 2 4 8 16



Scale: 1/8" = 1'-0"

0 2 4 8 16



Scale: 1/8" = 1'-0"

0 2 4 8 16



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Rancho Caliente, CA 94570

STONES THROW
WINTERS, CA

#2016-0282

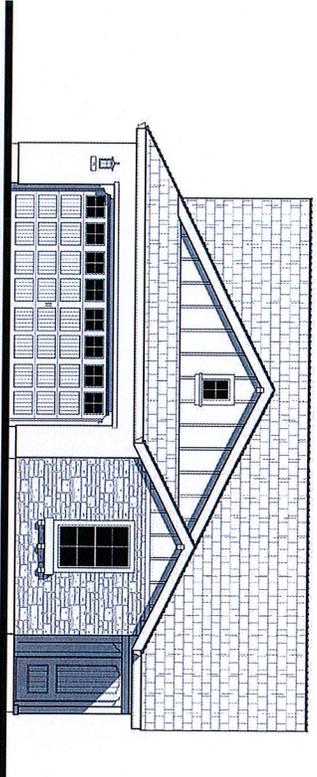
SCHEMATIC DESIGN
07-18-17

0 2 4 8

EXTERIOR ELEVATIONS 1B

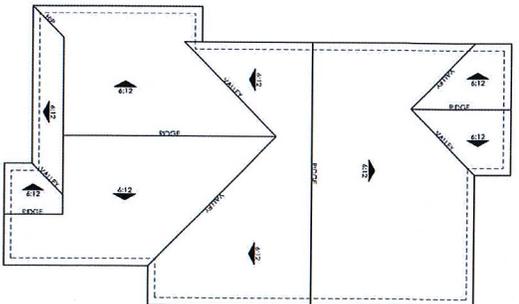
A1-03

- Country Ranch
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Batt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim

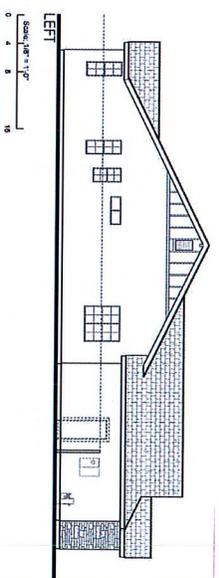
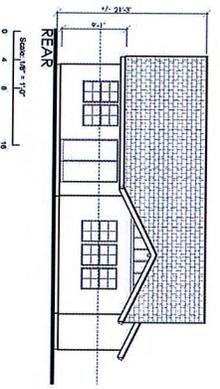
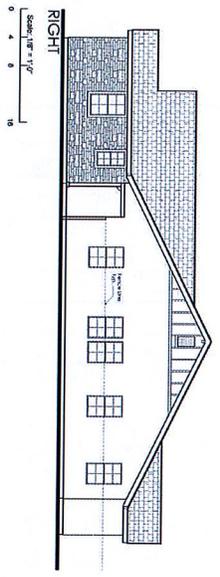


ELEVATION '1D' - COUNTRY RANCH

Scale: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



STONES THROW
 WINTERS, CA

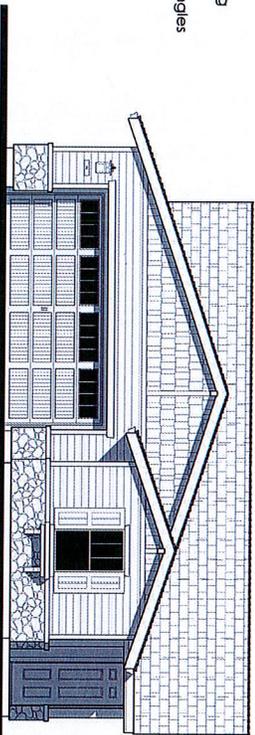
#2019-0282

SCHEMATIC DESIGN
 07/18/17

Scale: 1/8" = 1'-0"

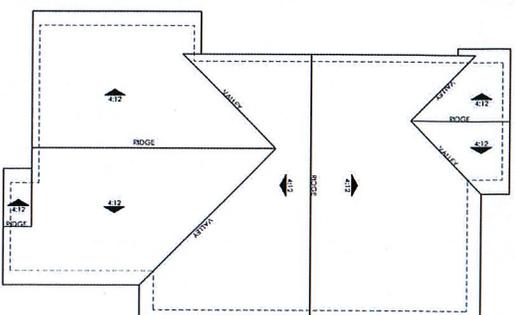
EXTERIOR ELEVATIONS 1D

- Craftsman**
Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



ELEVATION 1'E - ALL SIDED CRAFTSMAN

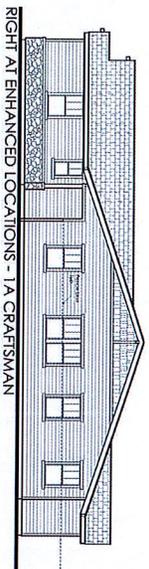
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ROOF PLAN 1A

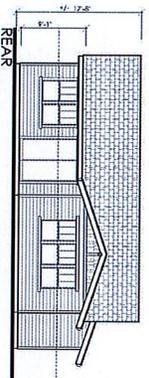
DATE: 11/12/2010
 DRAWN BY: [unclear]
 CHECKED BY: [unclear]
 SCALE: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"
 0 2 4 8 16



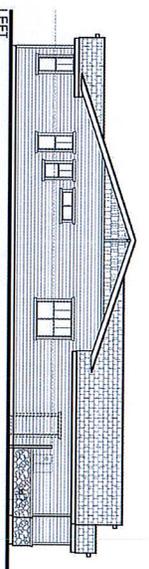
RIGHT AT ENHANCED LOCATIONS - 1A CRAFTSMAN

Scale: 1/8" = 1'-0"
 0 2 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 2 4 8 16



LEFT

Scale: 1/8" = 1'-0"
 0 2 4 8 16



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STONES THROW
 WINNERS, CA

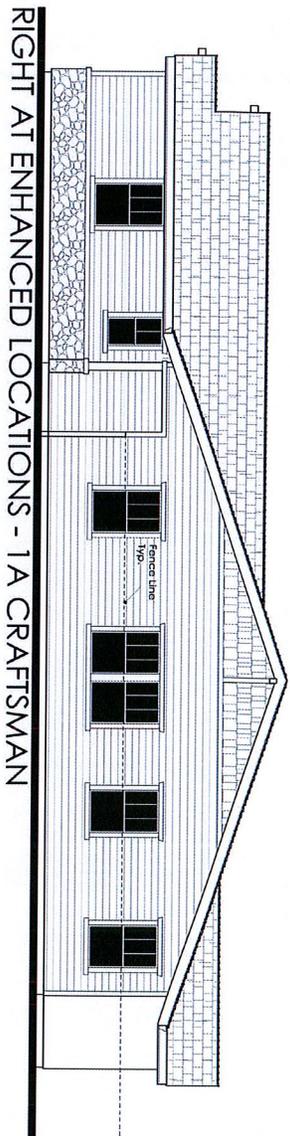
#2016-0282

SCHEMATIC DESIGN
 07-18-17

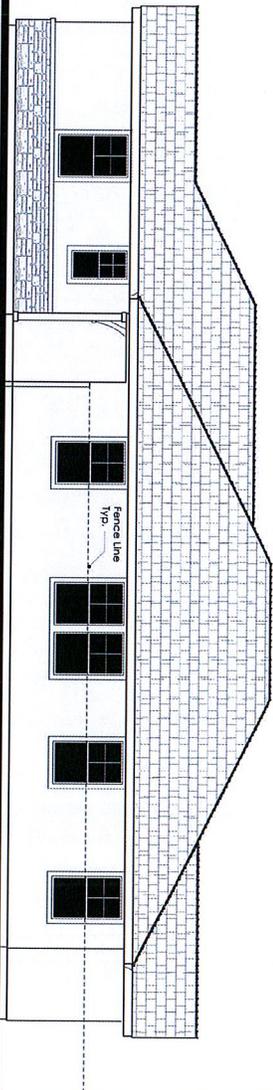
0 2 4 8

EXTERIOR ELEVATIONS 1E OPTION

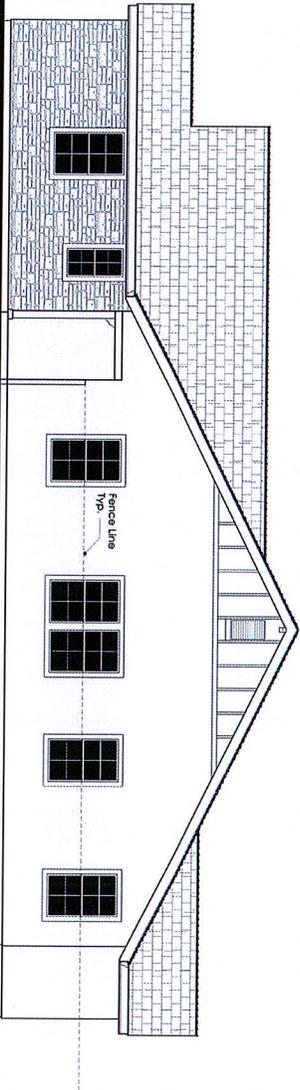
A1-05



RIGHT AT ENHANCED LOCATIONS - 1A CRAFTSMAN



RIGHT AT ENHANCED LOCATIONS - 1B CALIFORNIA COTTAGE



RIGHT AT ENHANCED LOCATIONS - 1D COUNTRY RANCH



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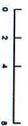


Home By Towne
15000
Rancho Conejo, CA 92070

STONES THROW
WINTERS, CA

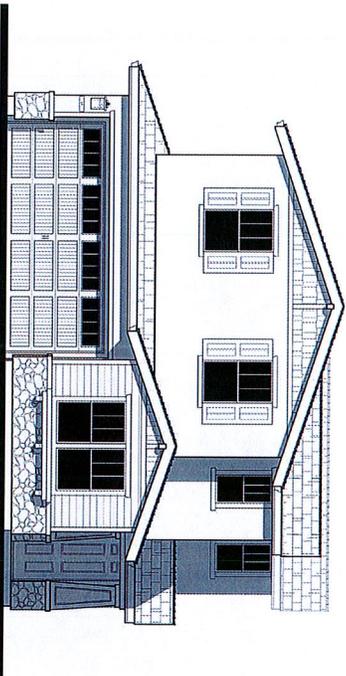
42016-0282

SCHEMATIC DESIGN
07-19-17

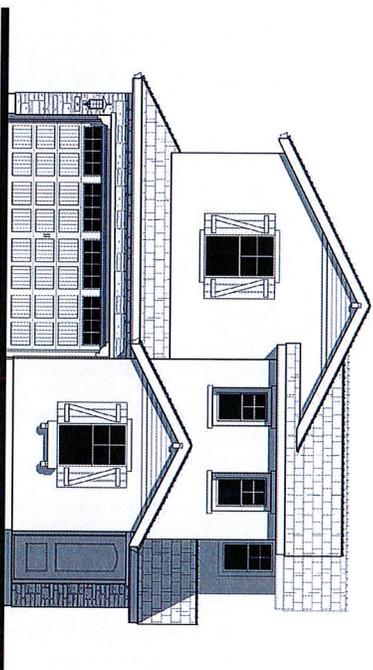


ENHANCED EXT. ELEVATIONS 1

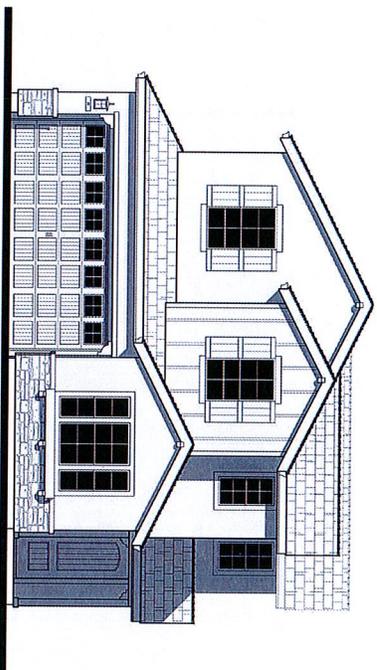
A1-06



ELEVATION '2A' - CRAFTSMAN



ELEVATION '2B' - CALIFORNIA COTTAGE



ELEVATION '2D' - COUNTRY RANCH



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Homes By Irvine
 Irvine, CA 92618
 Rancho Conejo, CA 92670

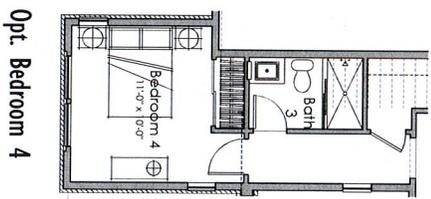
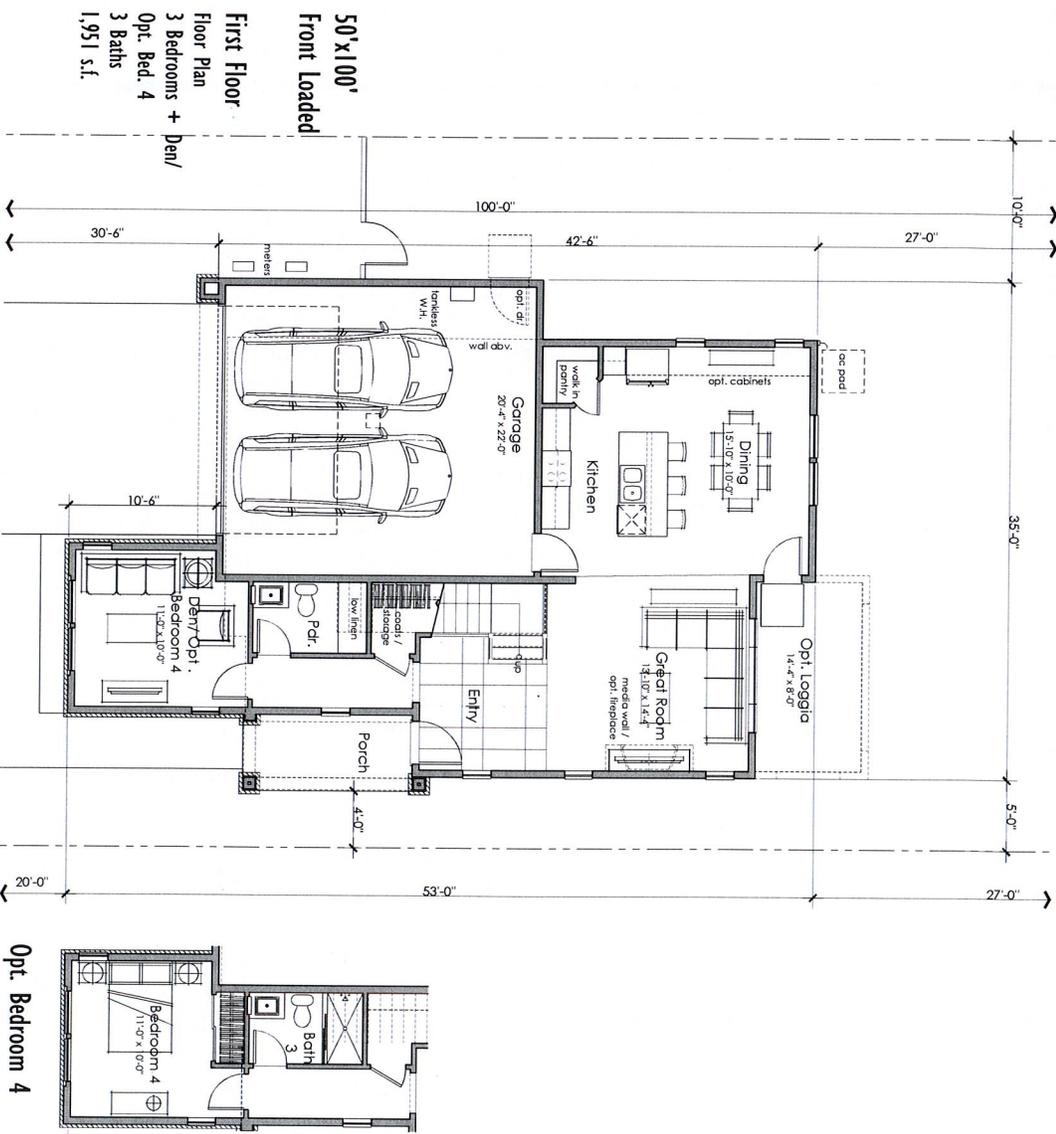
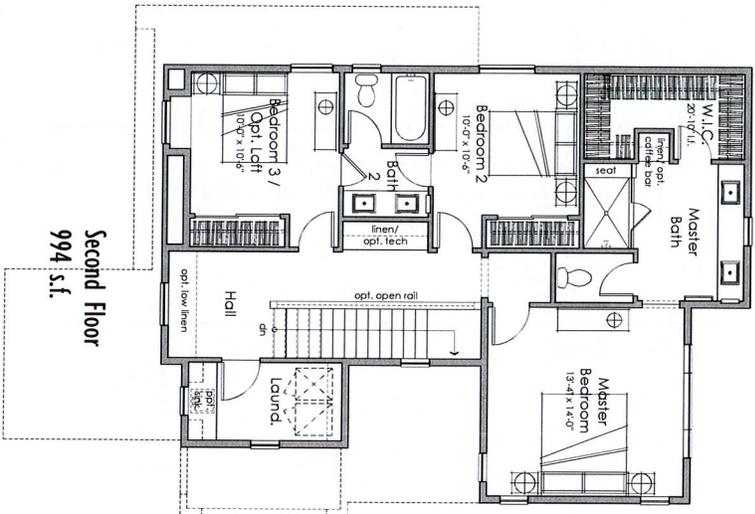
STONES THROW
 WINTERS, CA

#2018-0282

SCHEMATIC DESIGN
 07-18-17



PLAN 2 FRONT ELEVATIONS



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Homes By Turner
11000 Wilshire Road 5d, Ste. 150
Rancho Calabasas, CA 91370

STONE'S THROW
WANTERS, CA #2016-0282

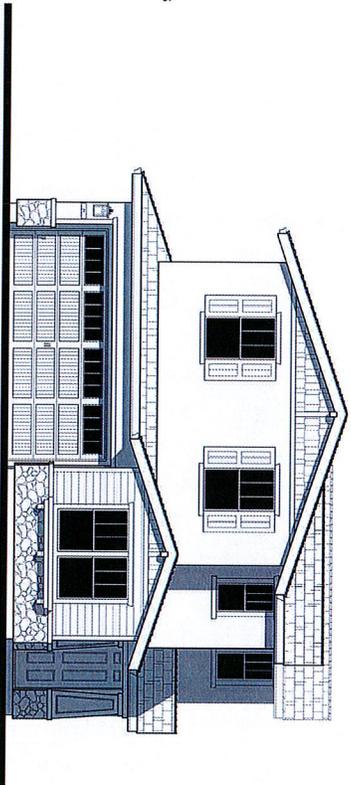
SCHEMATIC DESIGN
07/19/2017



PLAN 2 FIRST FLOOR PLAN

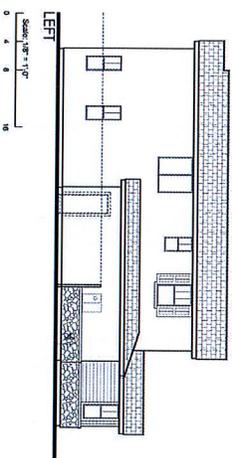
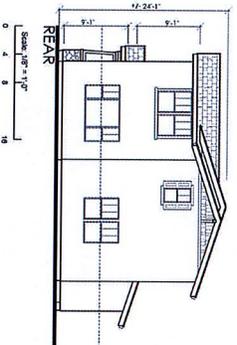
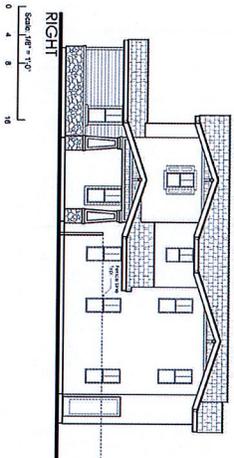
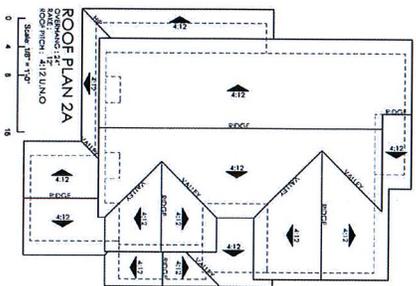
A2-01

- Craftsman
 Material Legend:
 Tile Roofing
 Flat Concrete
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



Scale: 1/8" = 1'-0"
 0 2 4 8

ELEVATION '2A' - CRAFTSMAN



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STONES THROW
 WINTERS, CA

#2016-0282

SCHEMATIC DESIGN
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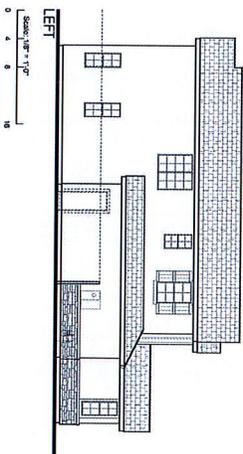
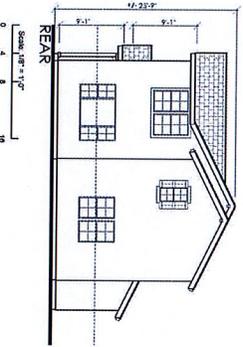
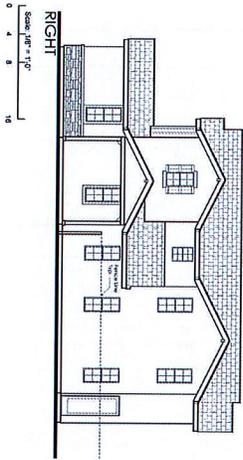
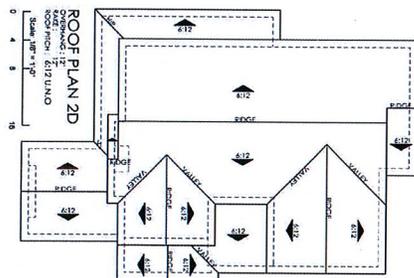
EXTERIOR ELEVATIONS 2A

- Country Ranch
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Batt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim



Scale: 1/8" = 1'-0"
 0 2 4 8

ELEVATION '2D' - COUNTRY RANCH



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 Rancho Caliente, CA 94590

STONES THROW
 WINTERS, CA

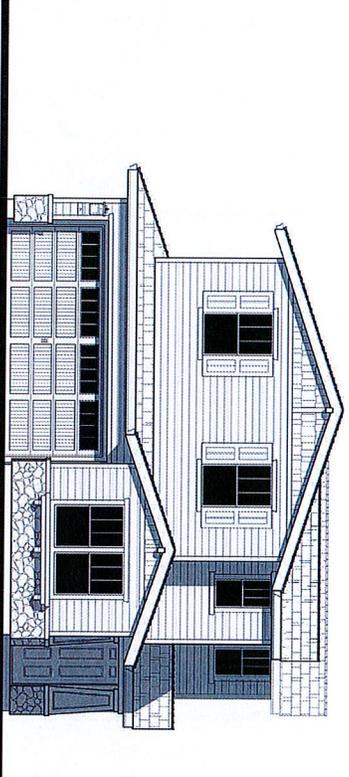
42016-0282

SCHEMATIC DESIGN
 07-18-17



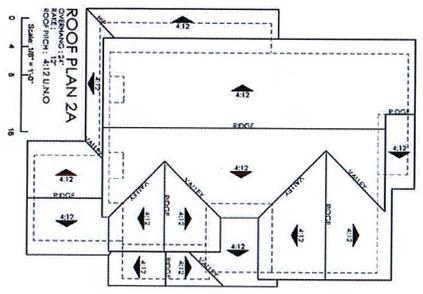
EXTERIOR ELEVATIONS 2D

- Craftsman
Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim

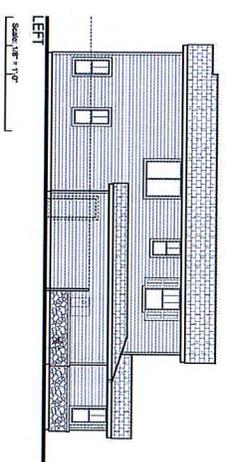
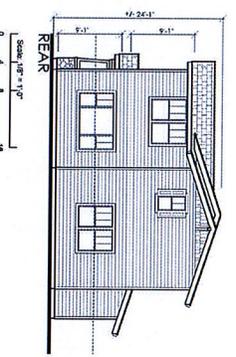
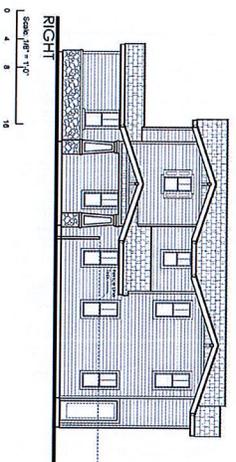


Scale: 1/8" = 1'-0"
0 2 4 8

ELEVATION '2E' - ALL SIDED CRAFTSMAN



Scale: 1/8" = 1'-0"
0 4 8 16



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Rancho Caliente, CA 94570

STONES THROW
WINNERS, CA

#2016-0282

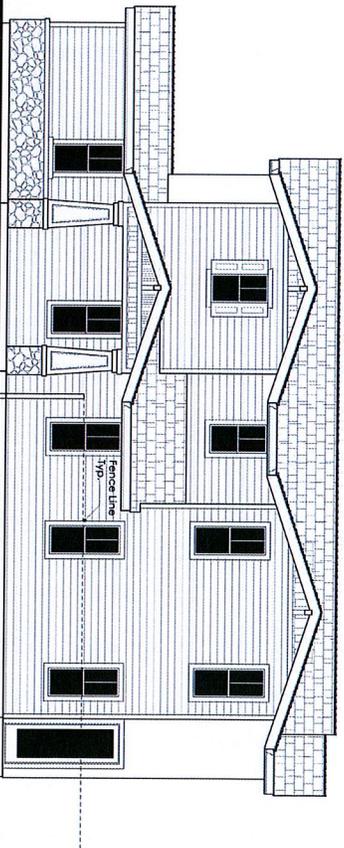
SCHEMATIC DESIGN
07-15-17

Scale: 1/8" = 1'-0"
0 2 4 8

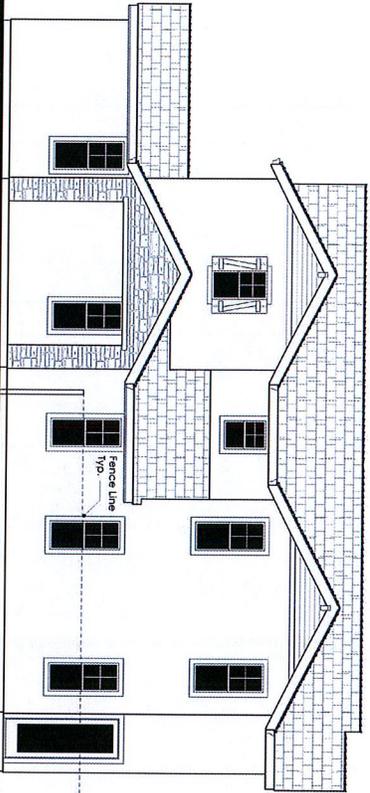
EXTERIOR ELEVATIONS 2E OPTION

A2-05

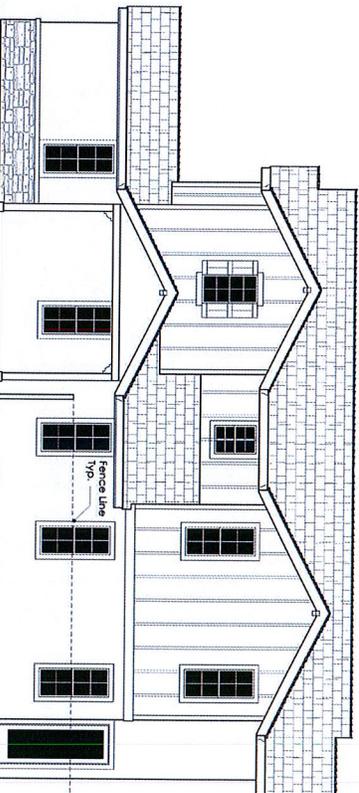
RIGHT AT ENHANCED LOCATIONS - 2A CRAFTSMAN



RIGHT AT ENHANCED LOCATIONS - 2B CALIFORNIA COTTAGE



RIGHT AT ENHANCED LOCATIONS - 2C COUNTRY RANCH



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4301 E. 15th St
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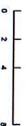


Homes By Towne
1050 Olive Road, 2nd. Ste. 130
Folsom, CA 95630

STONES THROW
WINTERS, CA

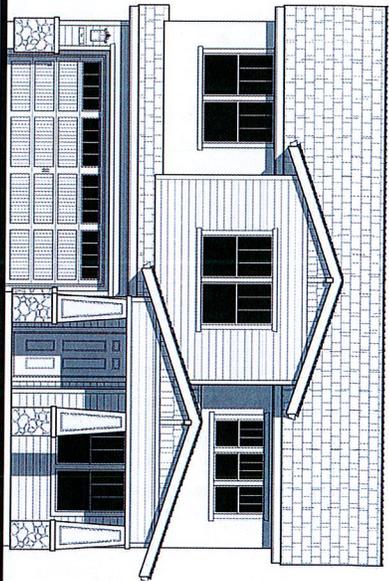
#2019-0282

SCHEMATIC DESIGN
07-18-17

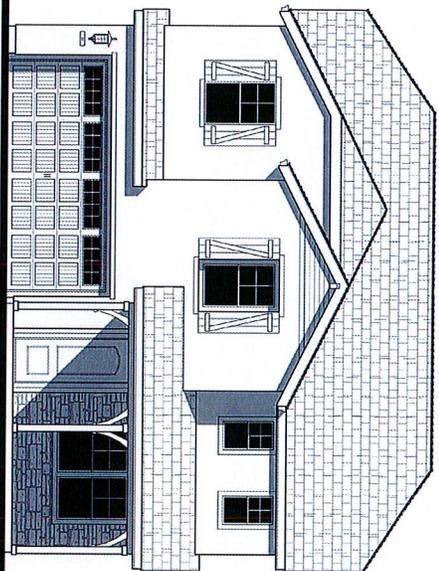


ENHANCED EXT. ELEVATIONS 2

A2-06



ELEVATION '3A' - CRAFTSMAN



ELEVATION '3B' - CALIFORNIA COTTAGE



ELEVATION '3D' - COUNTRY RANCH



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 Winters, CA 95790

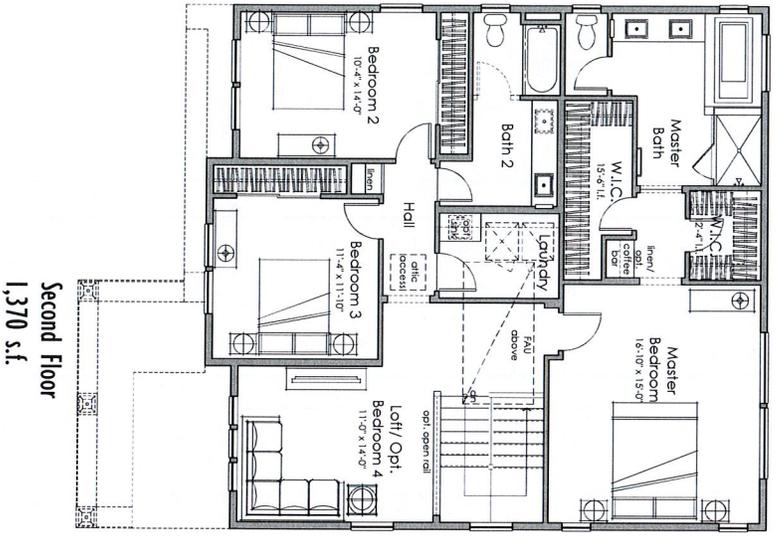
STONES THROW
 WINTERS, CA

#2016-0282

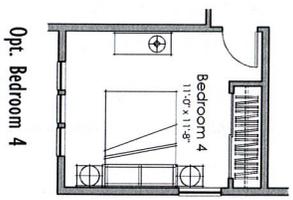
SCHEMATIC DESIGN
 07-18-17



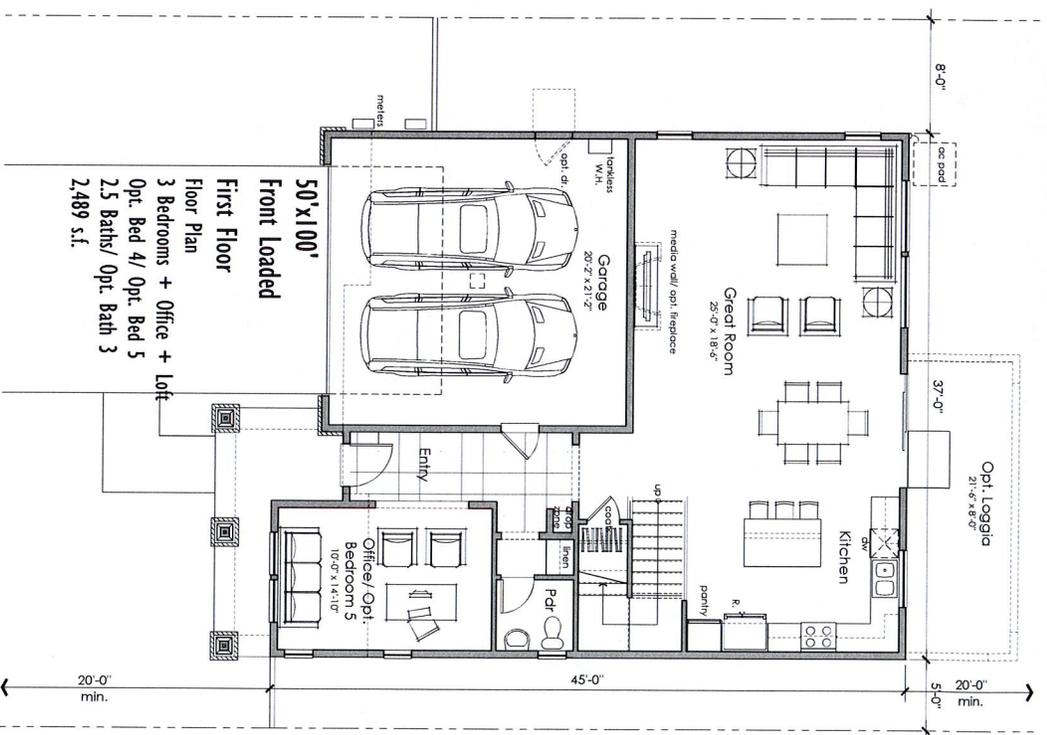
PLAN 3 FRONT ELEVATIONS



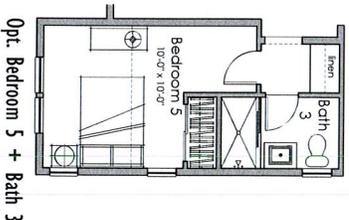
Second Floor
1,370 s.f.



Opt. Bedroom 4



50' x 100'
Front Loaded
First Floor
Floor Plan
3 Bedrooms + Office + Loft
Opt. Bed 4/ Opt. Bed 5
2.5 Baths/ Opt. Bath 3
2,489 s.f.



Opt. Bedroom 5 + Bath 3



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Homes By Towne
11080 White Rock Rd. Ste. 150
Rancho Caleros, CA 95970

STONE'S THROW
WATERS, CA
#2016-0282

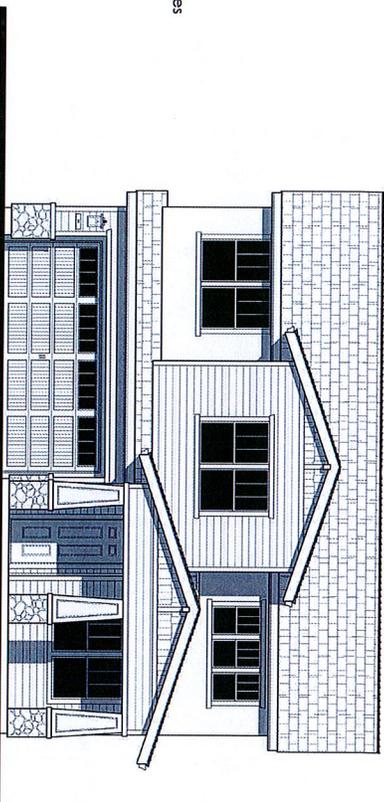
SCHEMATIC DESIGN
07.19.2017



PLAN 3 FIRST FLOOR PLAN

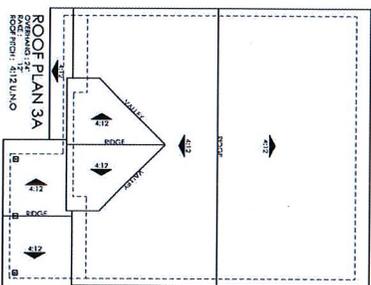
A3-01

- Craftsman**
Material Legend:
 Flat Concrete tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim

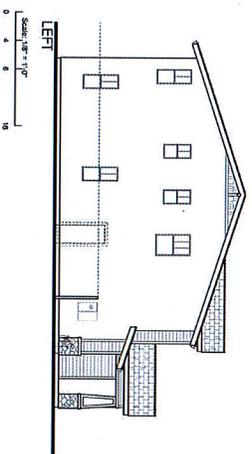
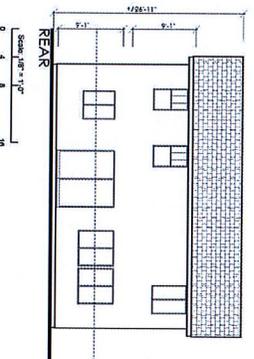
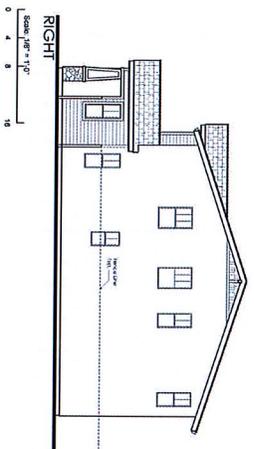


ELEVATION '3A' - CRAFTSMAN

Scale: 1/8" = 1'-0"
 0 2 4 8



Scale: 1/8" = 1'-0"
 0 2 4 8 16



Scale: 1/8" = 1'-0"
 0 2 4 8 16



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 Rancho Cordova, CA 95670

STONES THROW
 WINTERS, CA

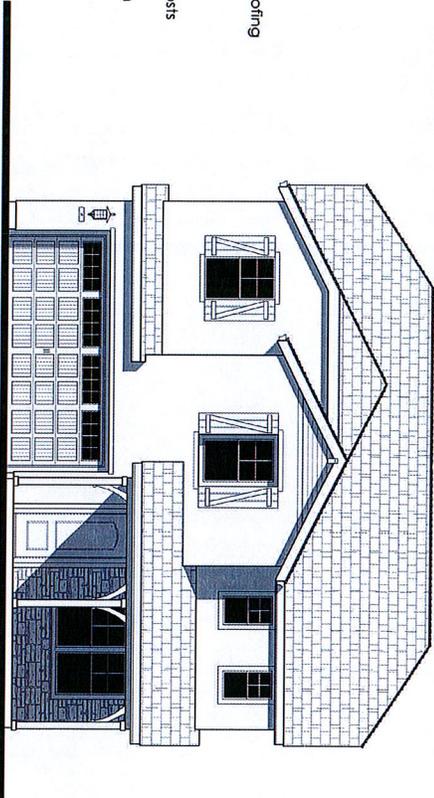
#2016-0282

SCHEMATIC DESIGN
 07-18-17



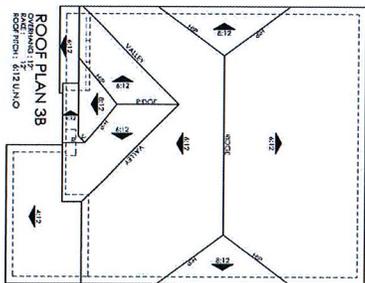
EXTERIOR ELEVATIONS 3A

California Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding
 Shutters
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim



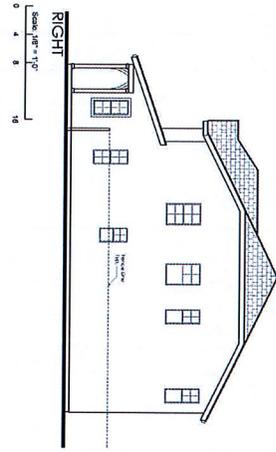
ELEVATION '3B' - CALIFORNIA COTTAGE

Scale: 1/8" = 1'-0"
 0 2 4 8



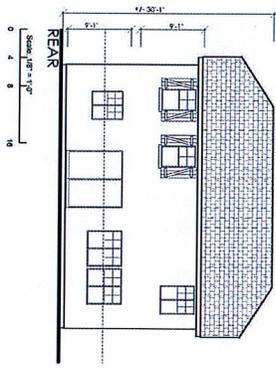
ROOF PLAN 3B
 OVERLAP: 1/2"
 ROOF PITCH: 6:12 U/H/O

Scale: 1/8" = 1'-0"
 0 2 4 8 16



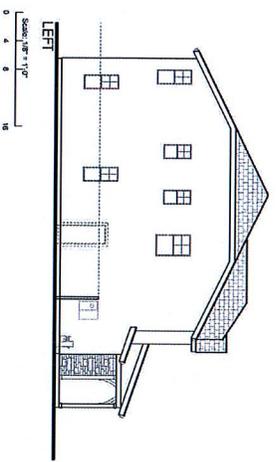
RIGHT

Scale: 1/8" = 1'-0"
 0 2 4 8 16



REAR

Scale: 1/8" = 1'-0"
 0 2 4 8 16



LEFT

Scale: 1/8" = 1'-0"
 0 2 4 8 16



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Scale: 1/8" = 1'-0"
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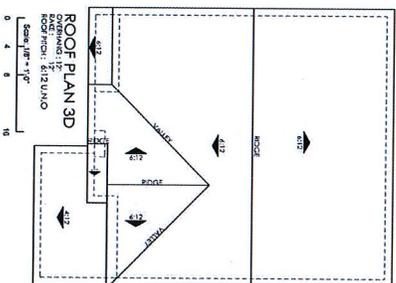
EXTERIOR ELEVATIONS 3B

- Country Ranch
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Batt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim

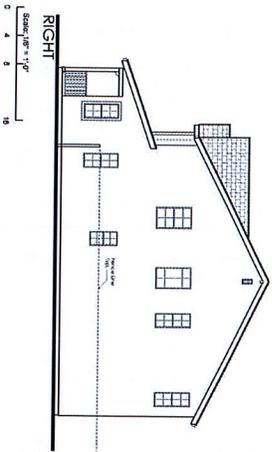


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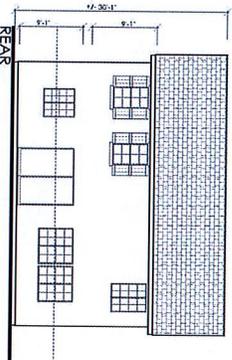
ELEVATION '3D' - COUNTRY RANCH



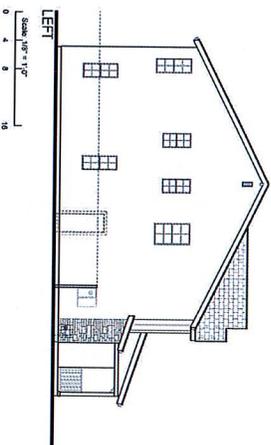
Scale: 1/8" = 1'-0"
 0 4 8 16



Scale: 1/8" = 1'-0"
 0 4 8 16



Scale: 1/8" = 1'-0"
 0 4 8 16



Scale: 1/8" = 1'-0"
 0 4 8 16



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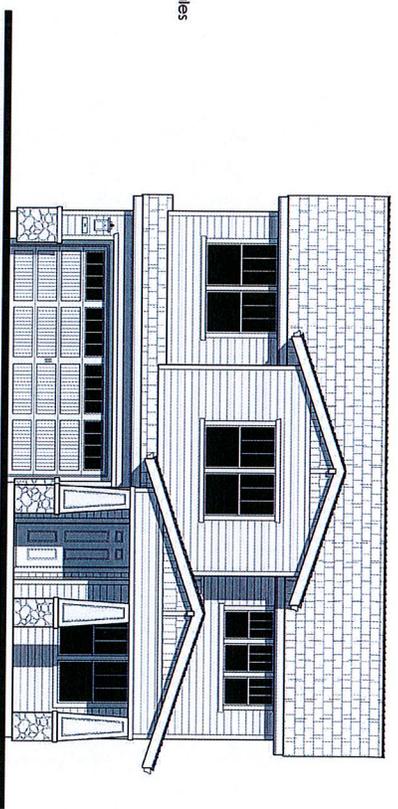
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SCHEMATIC DESIGN
 07-15-17

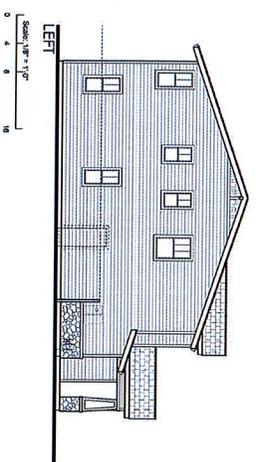
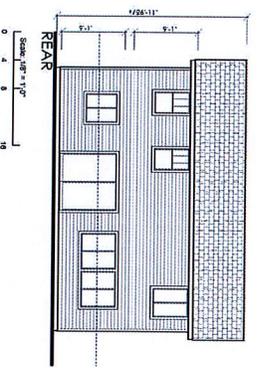
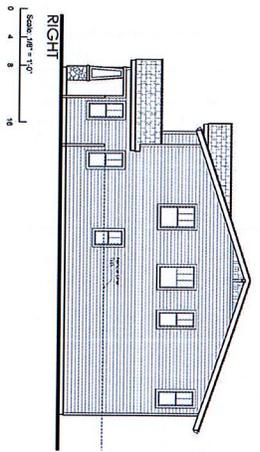
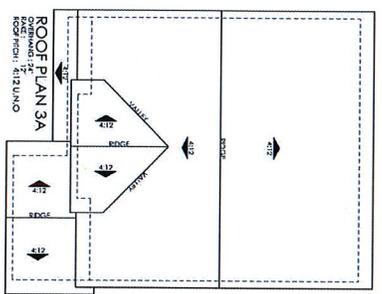


EXTERIOR ELEVATIONS 3D

- Craftsman**
Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



ELEVATION '3E' - ALL SIDED CRAFTSMAN



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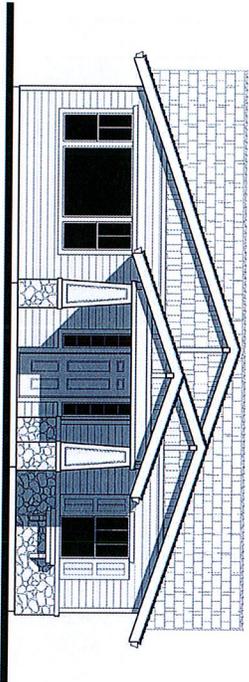
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SCHEMATIC DESIGN
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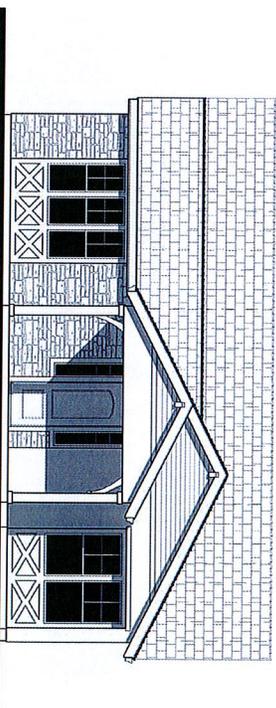


EXTERIOR ELEVATIONS 3E OPTION

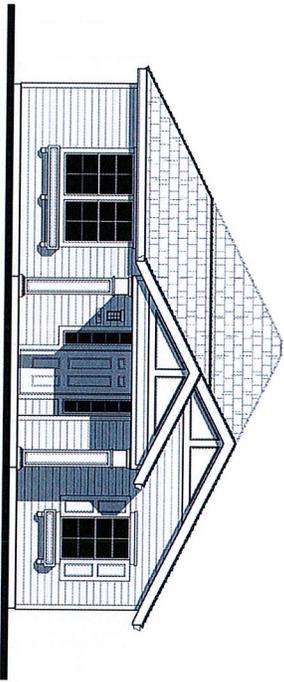
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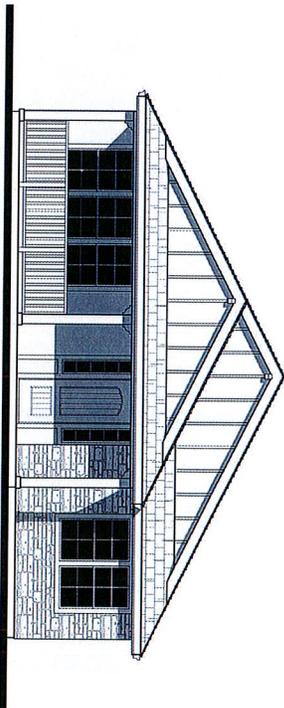
ELEVATION '4A' - CRAFTSMAN



ELEVATION '4B' - CALIFORNIA COTTAGE



ELEVATION '4C' - TRADITIONAL



ELEVATION '4D' - COUNTRY RANCH



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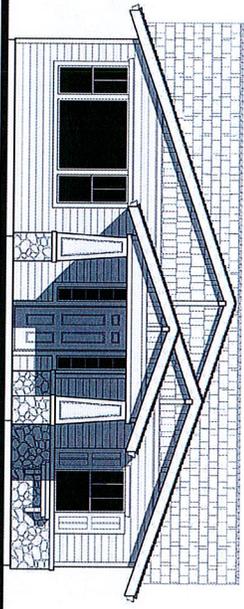
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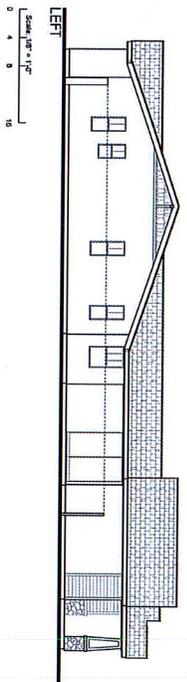
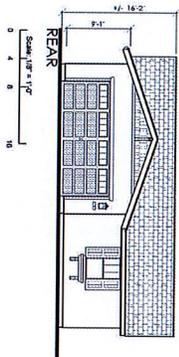
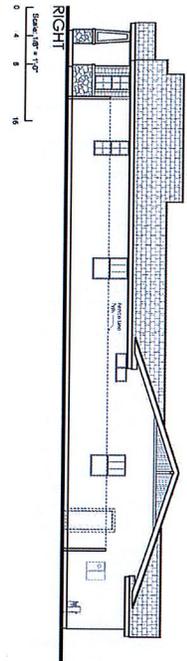
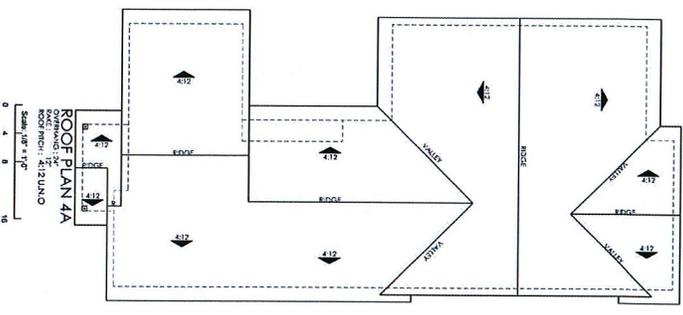


PLAN 4 FRONT ELEVATIONS

- Craftsman Material Legend:**
- Flat Concrete Tile Roofing
 - Stucco Finish
 - Cementitious Siding / Shingles
 - Stone Veneer
 - Enhanced Sills
 - 2x4 Wood Trim



ELEVATION '4A' - CRAFTSMAN



STONES THROW
 WINTERS, CA

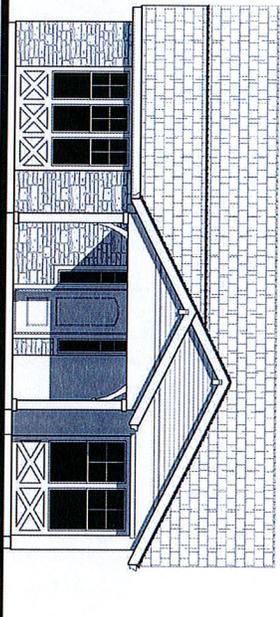
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SCHEMATIC DESIGN
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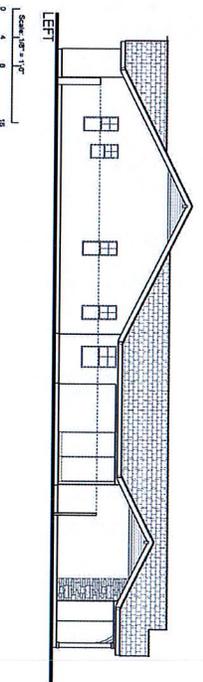
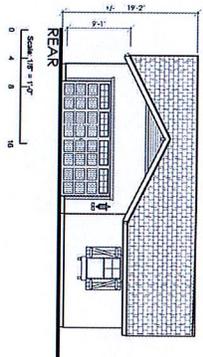
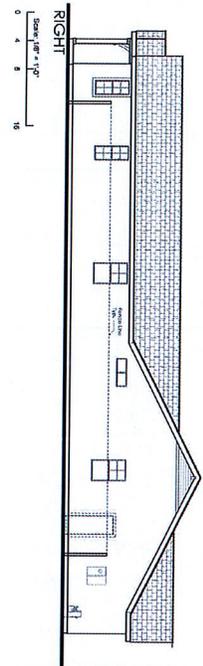
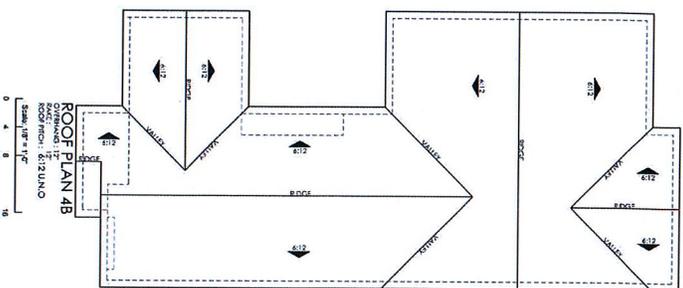


EXTERIOR ELEVATIONS 4A

- California Cottage
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding
 Shutters
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim



ELEVATION '4B' - CALIFORNIA COTTAGE



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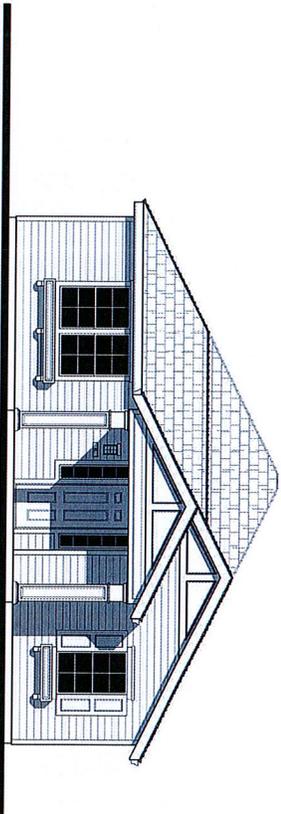
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SCHEMATIC DESIGN
 07-18-17



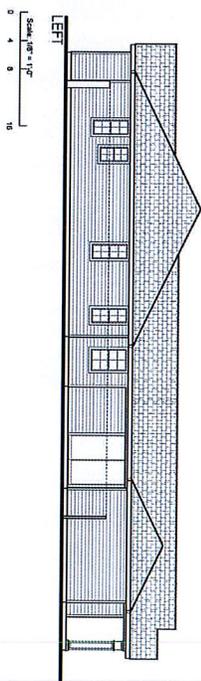
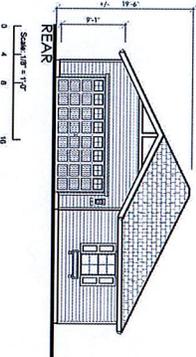
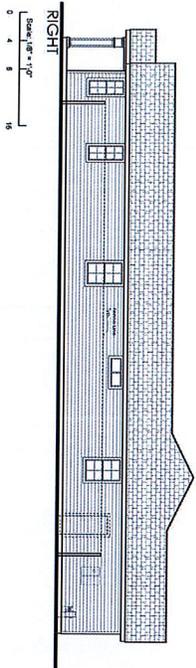
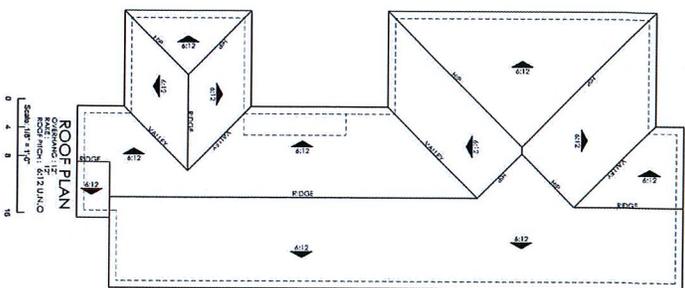
EXTERIOR ELEVATIONS 4B

- Traditional
Material Legend:
- Flat Concrete Tile Roofing
 - Stucco Finish
 - Cementitious Siding
 - Shutters
 - Decorative Wood Posts
 - Decorative Gable End Detail
 - Enhanced Sills
 - 2x4 Wood Trim



Scale: 1/8" = 1'-0"

ELEVATION '4C' - TRADITIONAL



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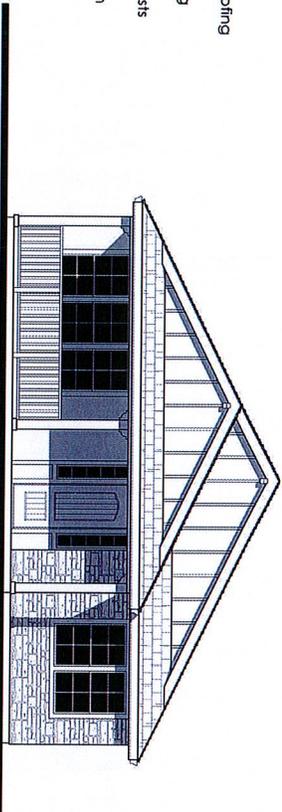
SCHEMATIC DESIGN
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EXTERIOR ELEVATIONS 4C

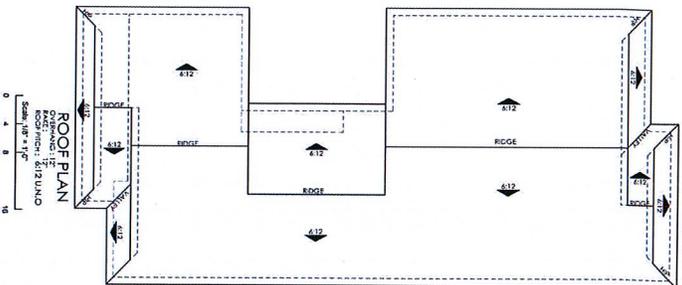
A4-04

Country Ranch
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Bolt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim

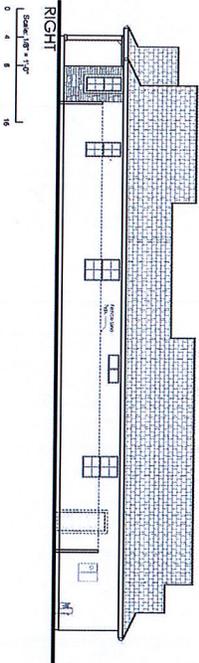


ELEVATION '4D' - COUNTRY RANCH

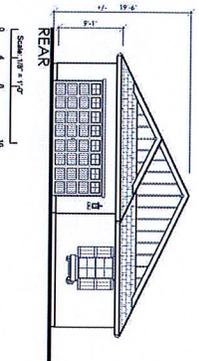
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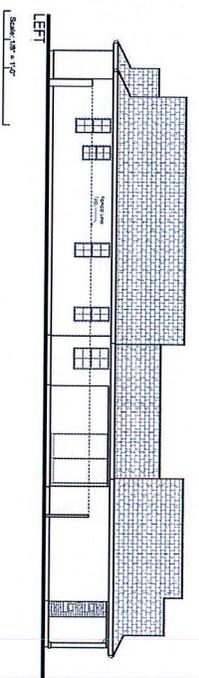
ROOF PLAN
 EXTERIOR
 ROOF FINISH: 2x4 UNND
 Scale: 1/8" = 1'-0"
 0 4 8 16



RIGHT
 Scale: 1/8" = 1'-0"
 0 4 8 16



REAR
 Scale: 1/8" = 1'-0"
 0 4 8 16



LEFT
 Scale: 1/8" = 1'-0"
 0 4 8 16



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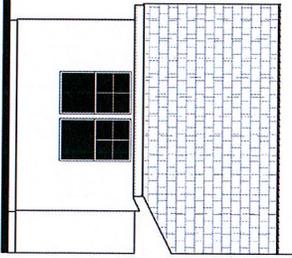
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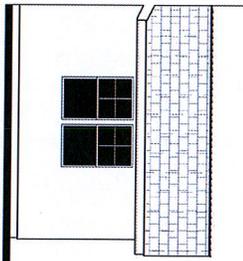


EXTERIOR ELEVATIONS 4D

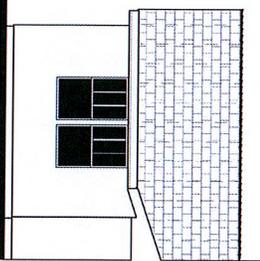
COURTYARD '4B'
AT MASTER BEDROOM



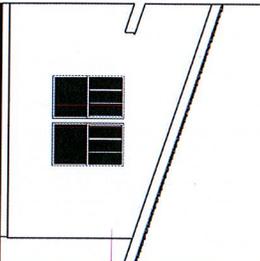
COURTYARD '4B'
AT GREAT ROOM



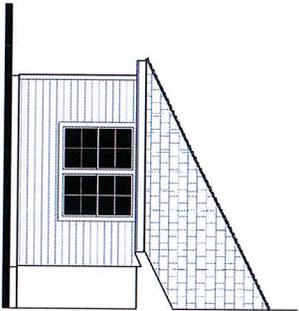
COURTYARD '4A'
AT MASTER BEDROOM



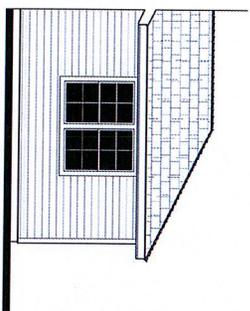
COURTYARD '4A'
AT GREAT ROOM



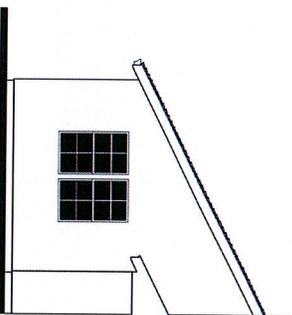
COURTYARD '4C'
AT MASTER BEDROOM



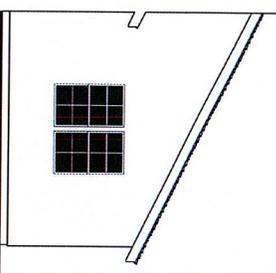
COURTYARD '4C'
AT GREAT ROOM



COURTYARD '4D'
AT MASTER BEDROOM



COURTYARD '4D'
AT GREAT ROOM



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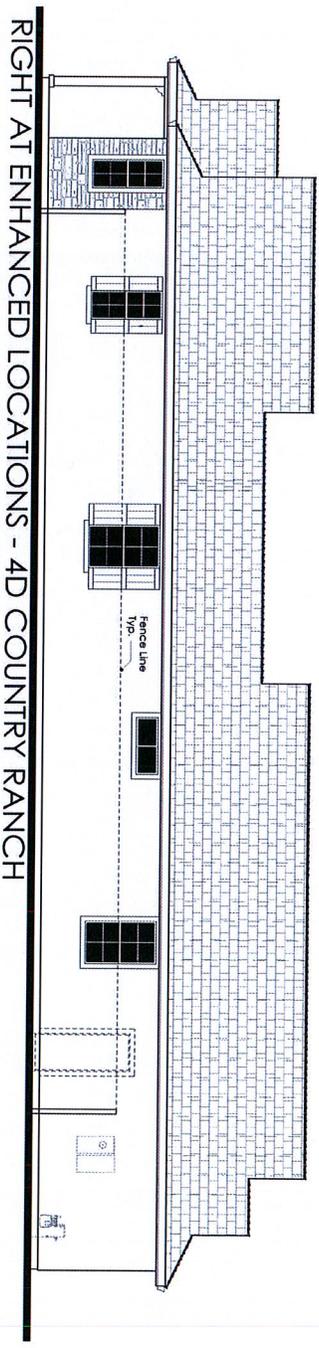
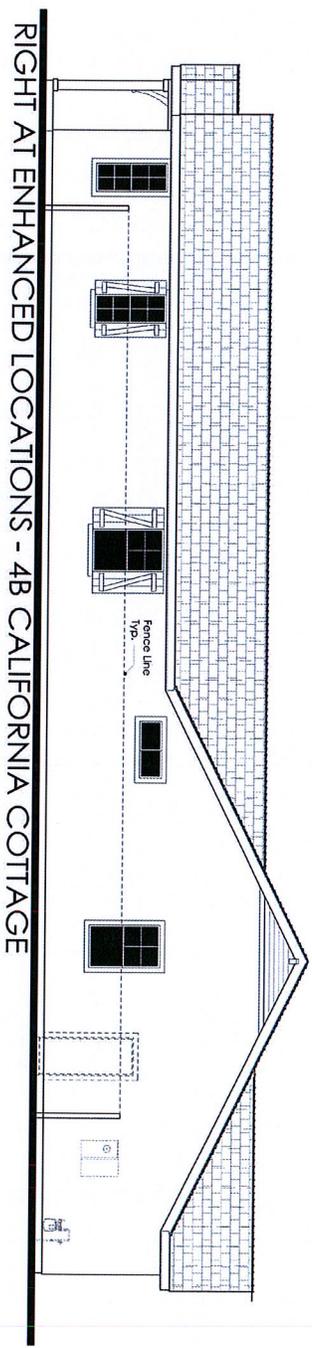
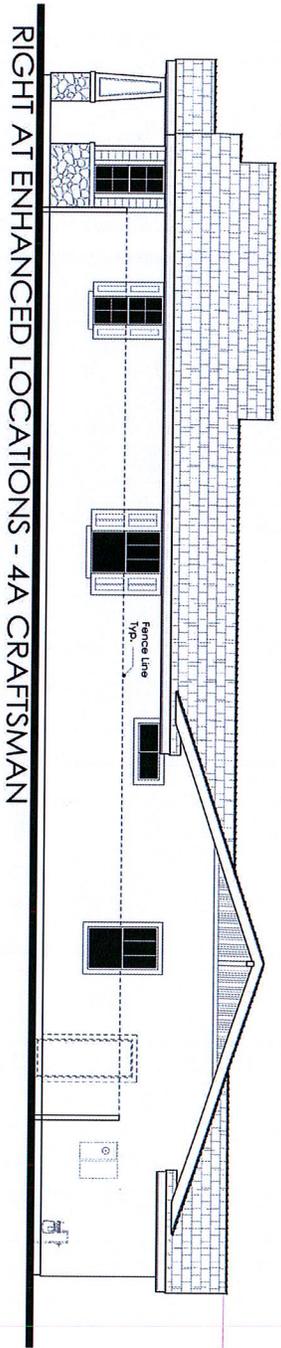
STONES THROW
WINTERS, CA

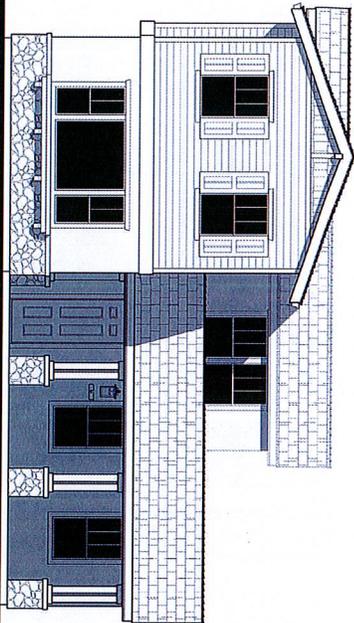
#2019-0282

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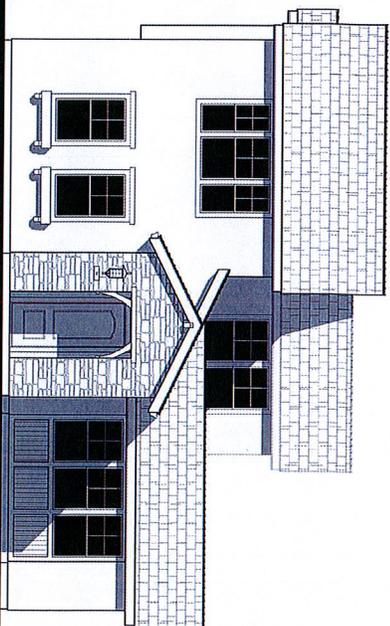


PLAN 4 COURTYARD ELEVATIONS

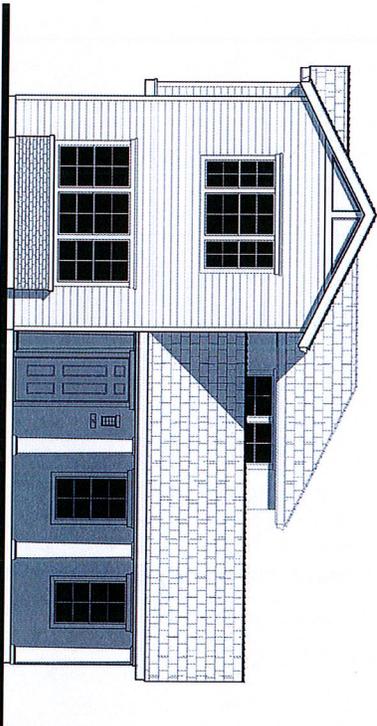




ELEVATION '5A' - CRAFTSMAN



ELEVATION '5B' - CALIFORNIA COTTAGE



ELEVATION '5C' - TRADITIONAL



ELEVATION '5D' - COUNTRY RANCH



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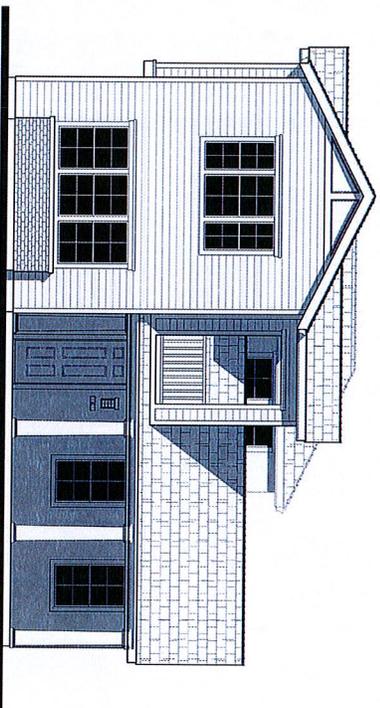
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PLAN 5 FRONT ELEVATIONS



ELEVATION '5C' - TRADITIONAL W/ OPT. DECK



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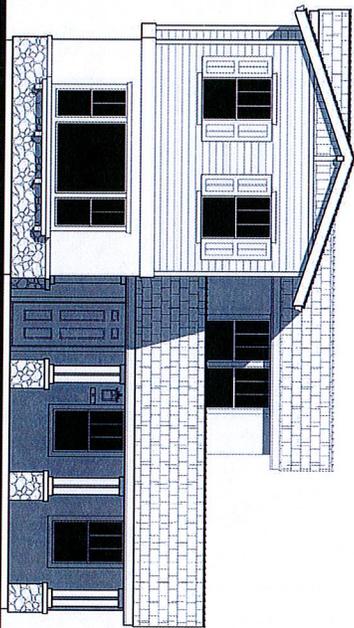
SCHEMATIC DESIGN
07-15-17



PLAN 5 FRONT ELEVATIONS
w/ Optional Balcony

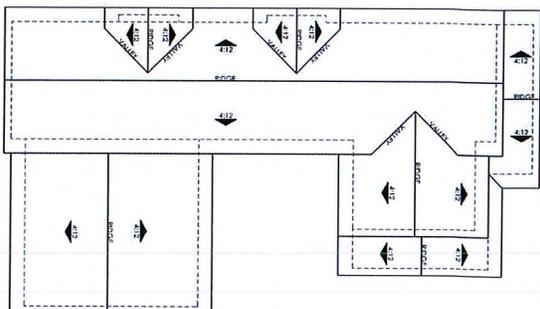
A5-00-1

- Craftsman**
Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



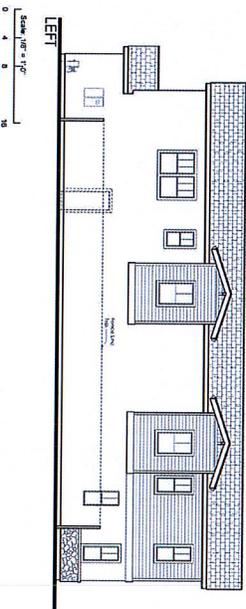
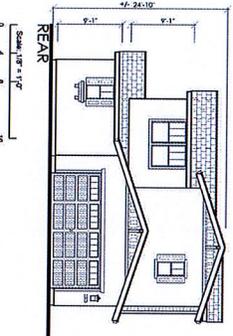
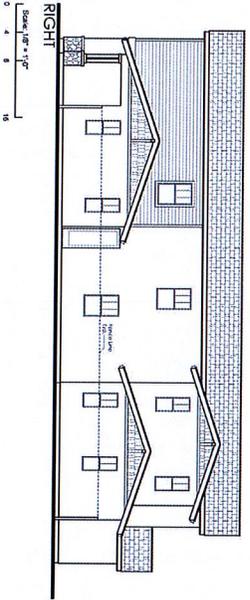
ELEVATION '5A' - CRAFTSMAN

Scale: 1/8" = 1'-0"
 0 2 4 8



ROOF PLAN 5A
 SCALE: 1/8" = 1'-0"
 DATE: 07/15/17

Scale: 1/8" = 1'-0"
 0 4 8 16



Scale: 1/8" = 1'-0"
 0 4 8 16



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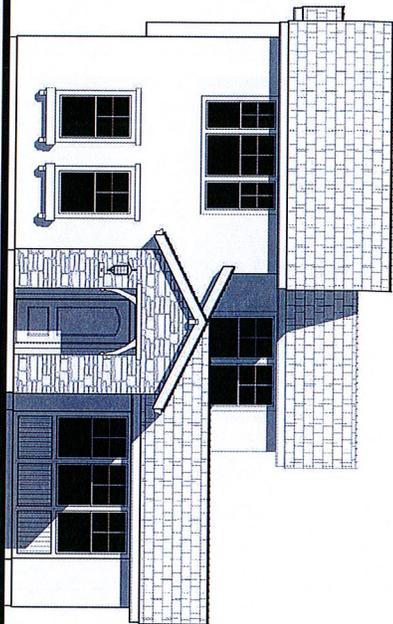
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EXTERIOR ELEVATIONS 5A

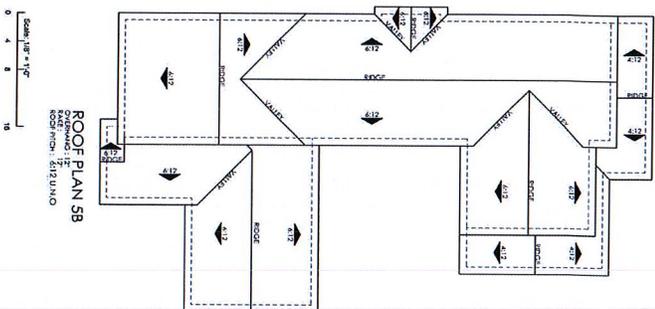
A5-02

- California Cottage
 Material Legend:
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 Stucco Finish
 Cementitious Siding
 Shutters
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim

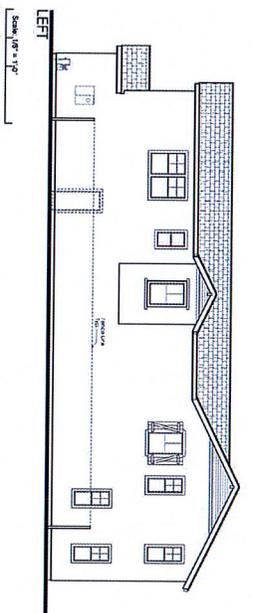
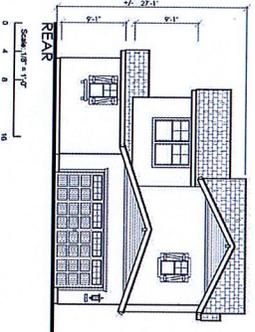
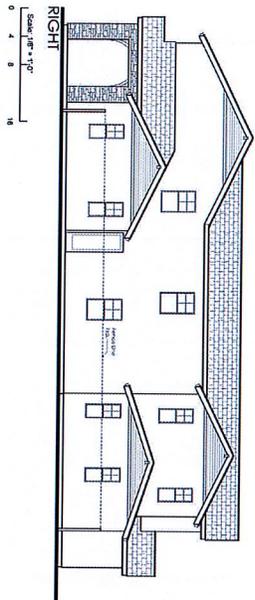


ELEVATION '5B' - CALIFORNIA COTTAGE

Scale: 1/8" = 1'-0"



ROOF PLAN 5B
 SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



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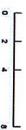


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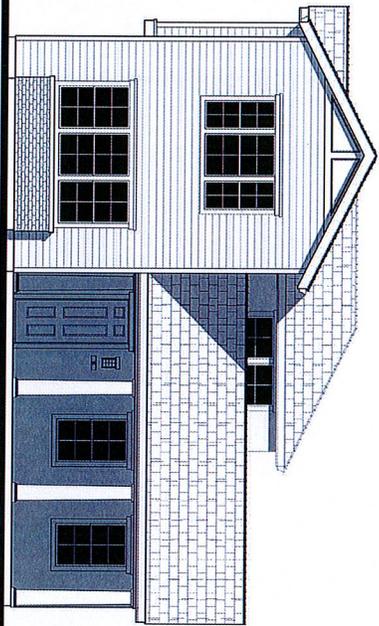
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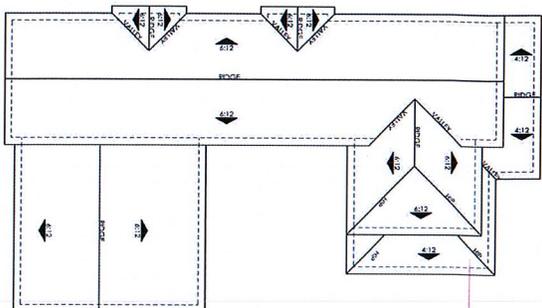
EXTERIOR ELEVATIONS 5B

- Traditional
Model Legend:
- Traditional Tile Roofing
 - Flat Concrete
 - Stucco Finish
 - Cementitious Siding
 - Shutters
 - Decorative Wood Posts
 - Decorative Gable End Detail
 - Enhanced Sills
 - 2x4 Wood Trim



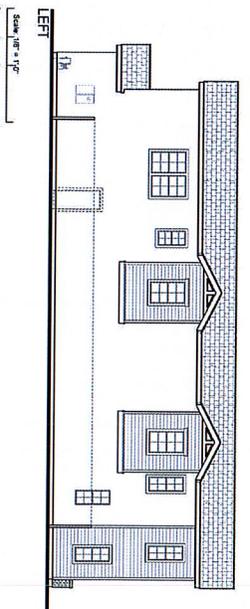
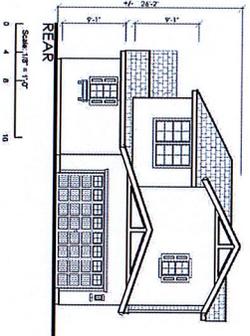
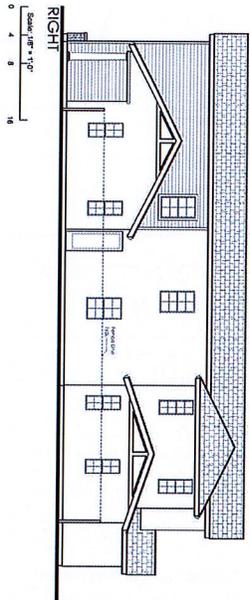
ELEVATION '5C' - TRADITIONAL

Scale: 1/8" = 1'-0"



ROOF PLAN SC
DATE: 07-15-17
SCALE: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"



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WINTERS, CA

#2019-0282

SCHEMATIC DESIGN
07-15-17

0 2 4 8

EXTERIOR ELEVATIONS 5C

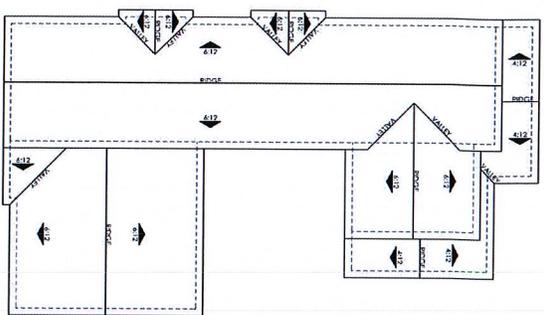
A5-04

- Country Ranch
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Board and Bolt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim



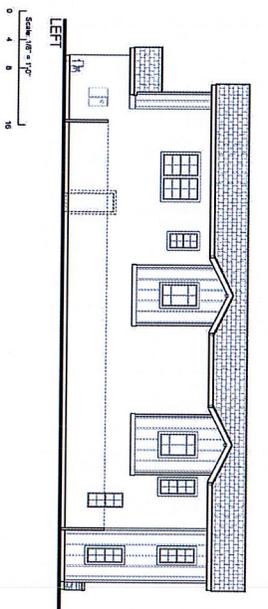
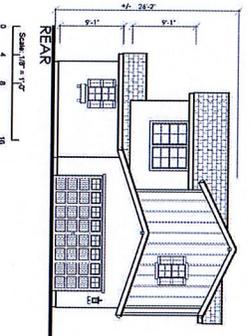
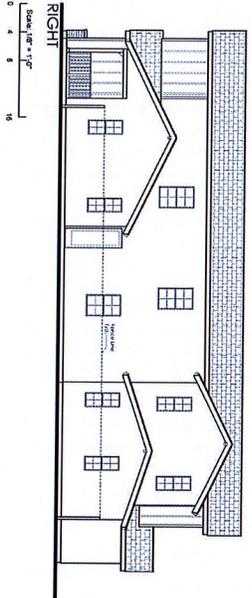
ELEVATION 'SD' - COUNTRY RANCH

Scale: 1/8" = 1'-0"



ROOF PLAN SD

Scale: 1/8" = 1'-0"



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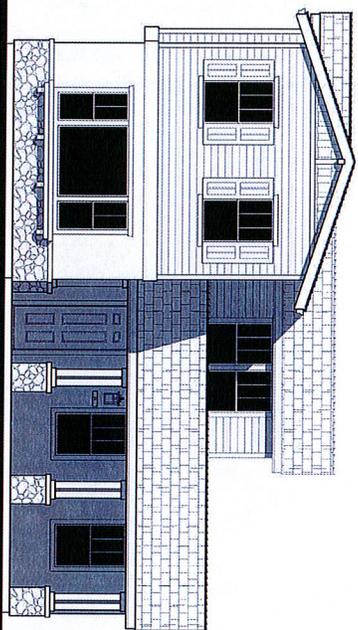
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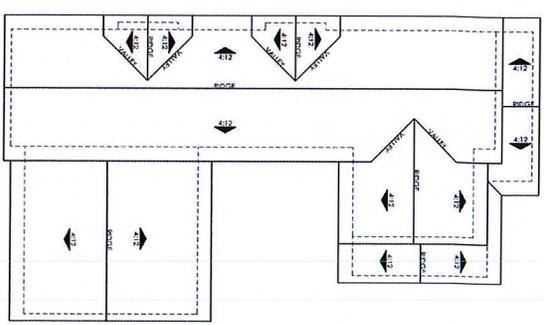


EXTERIOR ELEVATIONS SD

- Craftsman**
Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding/ Shingles
 Stone Veneer
 Enhanced Sills
 2x4 Wood Trim



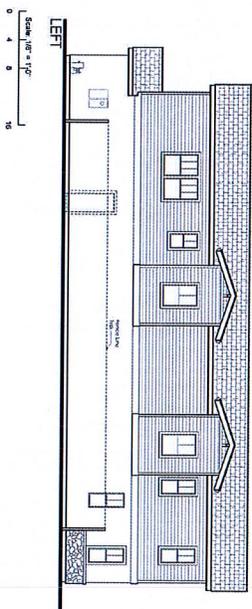
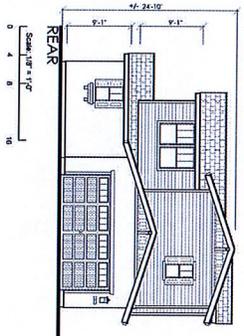
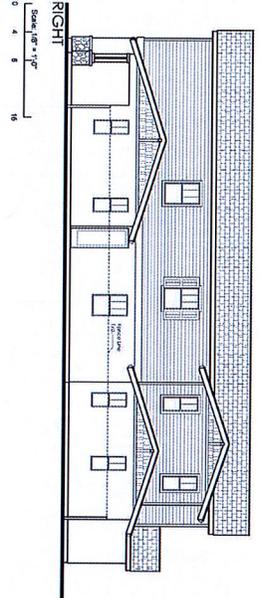
ELEVATION 'SE' - ALL SIDED CRAFTSMAN



ROOF PLAN SA
 ALL SIDED CRAFTSMAN
 07-18-17

Scale: 1/8" = 1'-0"
 0 2 4 8

Scale: 1/8" = 1'-0"
 0 4 8 16



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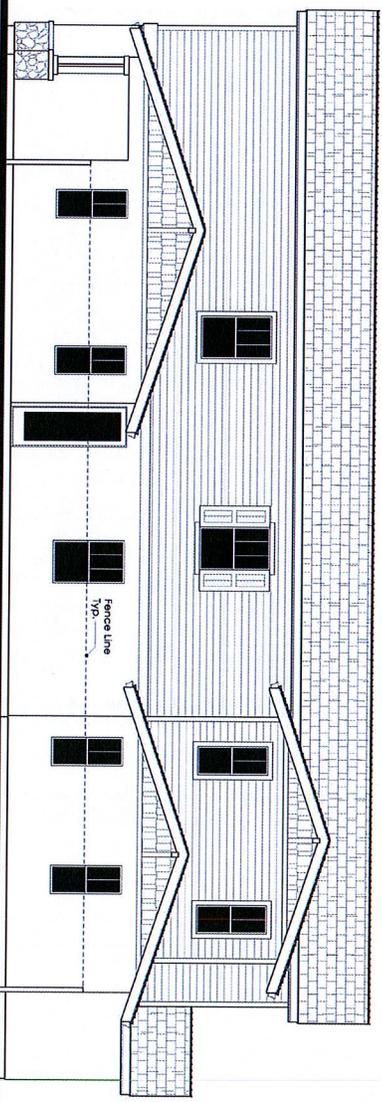
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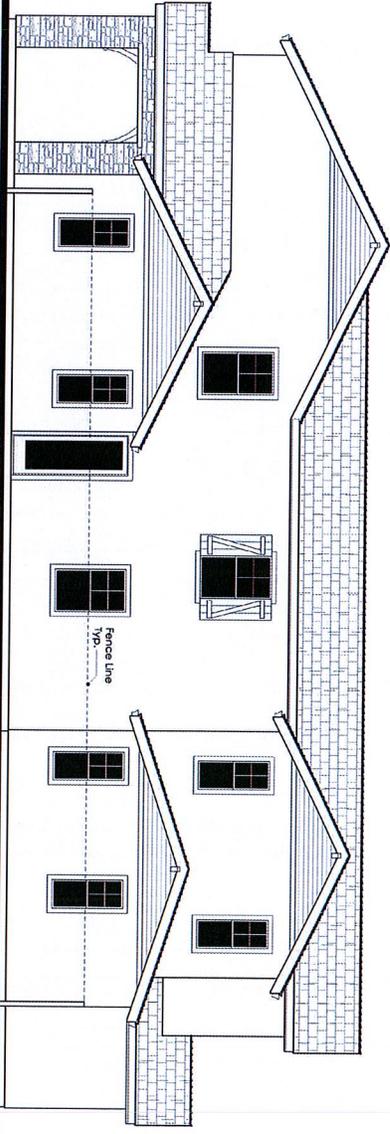
EXTERIOR ELEVATIONS SE OPTION

A5-06

RIGHT AT ENHANCED LOCATIONS - 5A CRAFTSMAN



RIGHT AT ENHANCED LOCATIONS - 5B CALIFORNIA COTTAGE



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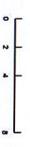


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ENHANCED EXT. ELEVATIONS 5

A5-07



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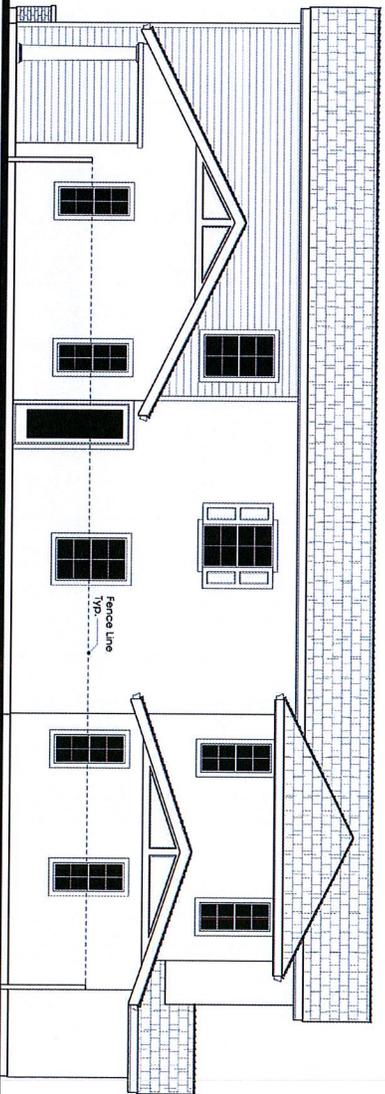
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07-15-17



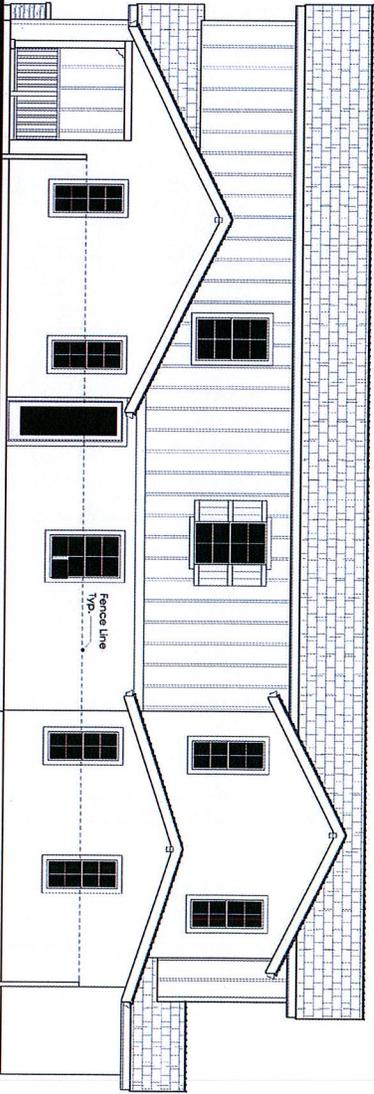
ENHANCED EXT. ELEVATIONS 5

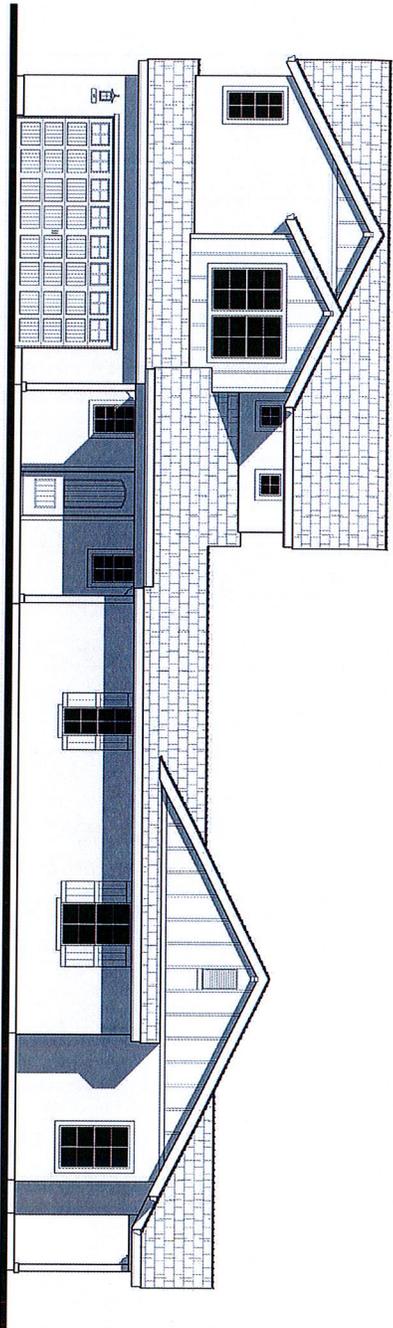
A5-08

RIGHT AT ENHANCED LOCATIONS - 5C TRADITIONAL



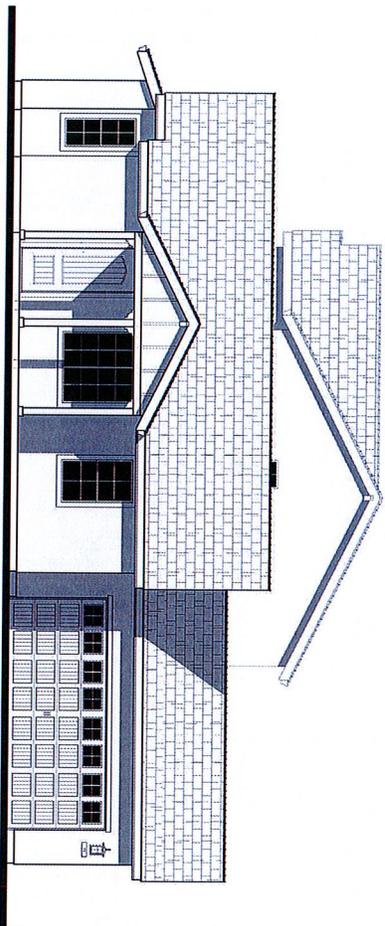
RIGHT AT ENHANCED LOCATIONS - 5D COUNTRY RANCH





PLAN 6 & 7 - FRONT ELEVATION - COUNTRY RANCH 'D'

- Country Ranch
 Material Legend:
 Flat Concrete tile Roofing
 Stucco Finish
 Board and Bolt Siding
 Stone Veneer
 Decorative Wood Posts
 Enhanced Sills
 2x4 Stucco Finish Trim



PLAN 6 - FRONT ELEVATION - COUNTRY RANCH 'D'



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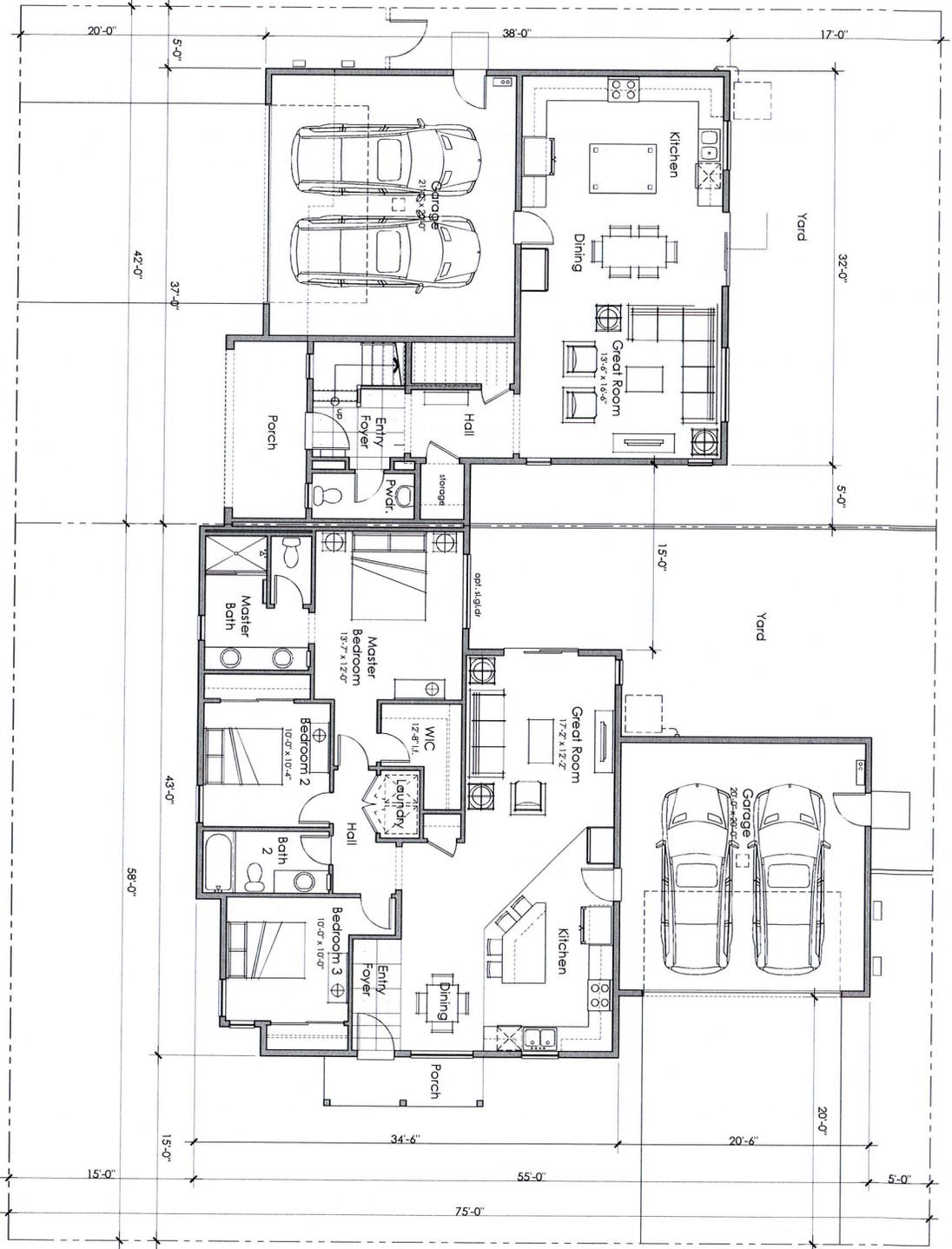
STONES THROW
 WINTERS, CA

#2016-0282

SCHEMATIC DESIGN
 06-28-17



PLAN 6 & 7 FRONT ELEVATIONS
 COUNTRY RANCH 'D'



75' x 100'
DUET
PLAN 6
 Floor Plan
 3 Bedrooms
 2.5 Baths
 1,796 s.f.
GARAGE
 444 s.f.

PLAN 7
 Floor Plan
 3 Bedrooms
 2 Baths
 1,372 s.f.
GARAGE
 431 s.f.



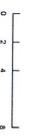
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PLAN 6 AND 7 FIRST FLOOR PLAN

AG-01

RECEIVED

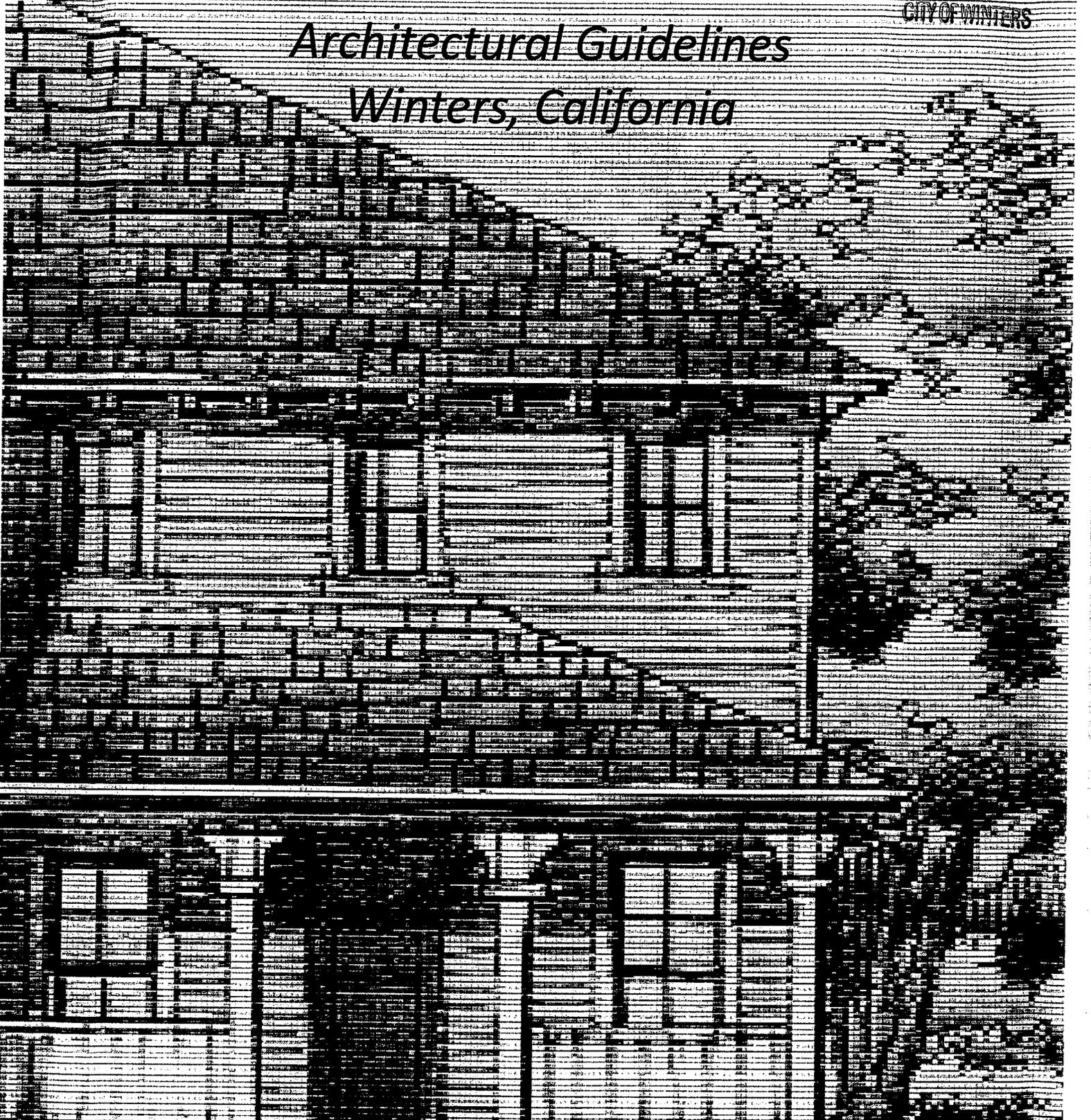
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CITY OF WINTERS

WINTERS HIGHLANDS

Architectural Guidelines

Winters, California

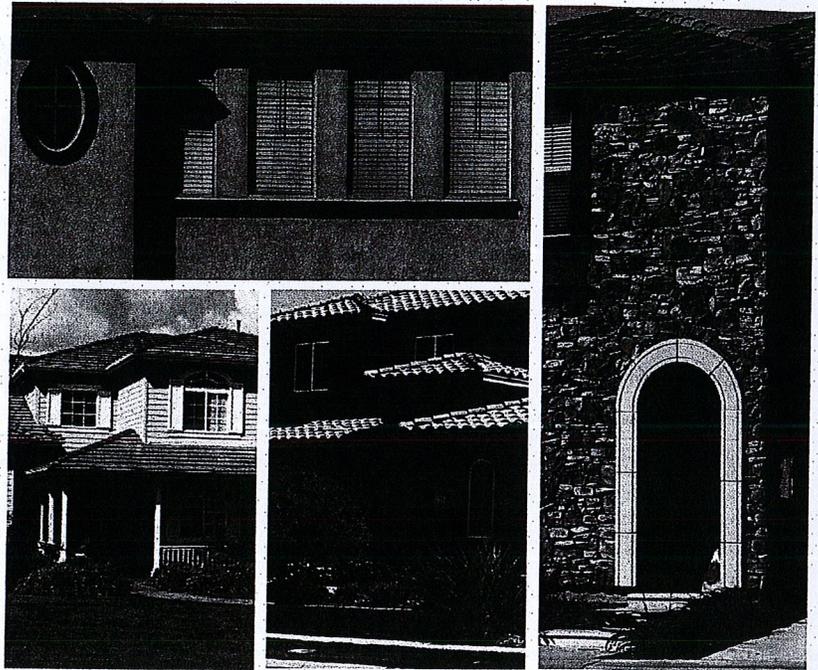


ATTACHMENT B

 **Homes**
by **Towne**®

TABLE OF CONTENTS

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INTRODUCTION AND BACKGROUND

A Tentative Map for Winters Highlands was approved by the Planning Commission allowing for the development of single family homes, duplex homes, and a small apartment site. These Architectural Guidelines replace any previously approved conceptual plans and elevation for single family residential construction. This document is intended to create a framework for the design of homes and neighborhoods which will be prepared when market conditions warrant.

It is the intent of these architectural guidelines to augment the criteria contained in the City of Winters Design Guidelines, but with a greater level of specificity while still maintaining neutral ground when it comes to developing an architectural vernacular for the project. Beyond the realm of basic home design, parameters regarding the plotting of individual homes have been developed as part of these guidelines to help ensure that streetscapes are both aesthetically pleasing and functional.

ARCHITECTURAL DESIGN GUIDELINES

These Architectural Guidelines (Guidelines) have been developed for Winters Highlands to provide general design criteria and guidance for merchant and custom home builders. These Guidelines do not promote a singular architectural vernacular; rather the goal is to promote the principles of good design. Topics covered in these Guidelines include the following:

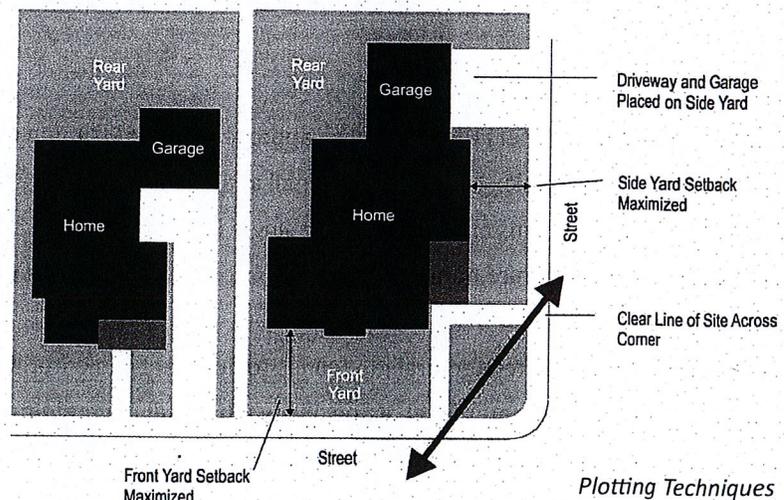
- Streetscape Variety.
- Mass and Form.
- Elevation and Plan Treatment.
- Roof Forms and Pitches.
- Materials and Colors.
- Design Details.

STREETScape VARIETY

Functional and visual variety are important components to a successful streetscape. Characteristics included in the creation of a well designed streetscape involve the careful combination of plotting criteria and massing techniques that include the treatment of:

- Corner Conditions.
- Cross Slope Conditions.
- Setback Variations.
- Garage Variations.

While it is not mandatory that every method discussed in these Guidelines be utilized, the selective and appropriate use of the following criteria will greatly contribute to achieving both visual variety and compatibility.



Treatment of Corner Conditions

How corner lots are treated is a key component in the preparation of a successful site plan. Homes occupying corner lots should be selected and sited so that:

- The driveway and garage is placed against the interior or rear side yard.
- The line of site across the corner lot is clean.
- The side wall of the home adjacent to the exterior side yard is as short as possible.
- The side and front yard setbacks are maximized.

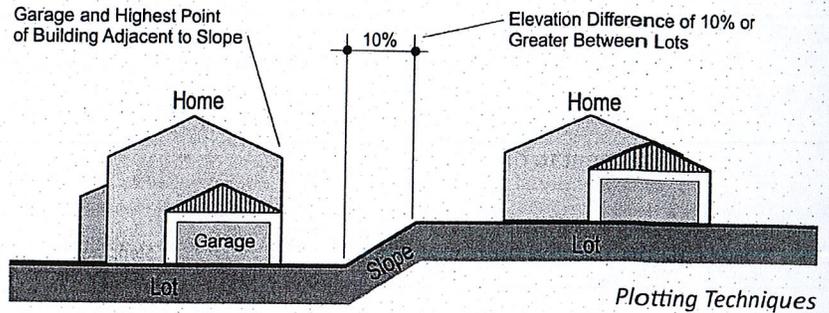
Cross Slope Conditions

When siting homes on adjacent lots where the elevation difference is greater than 10% of the garage setback (typically 2 feet), garages and the highest side of the building should be placed next to the rising slope bank.

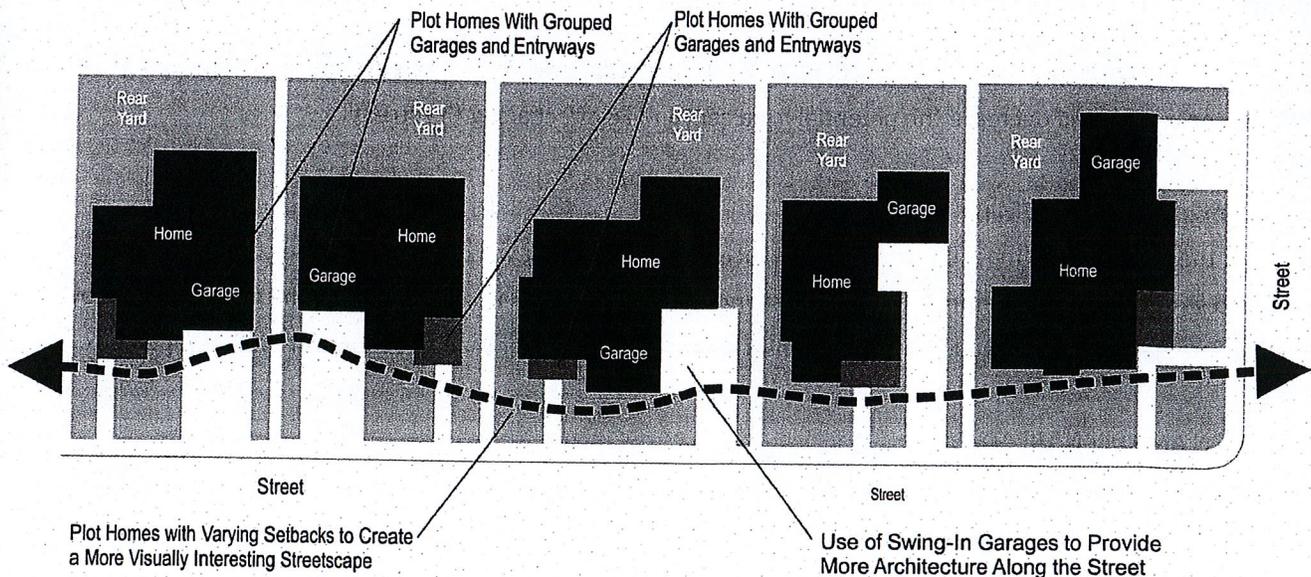
Setback Variations

Front yard setbacks along street frontages should be varied to avoid repetitious and monotonous building forms.

Where garages are placed adjacent to one another along interior lot lines, there should be a 2 foot minimum difference in setbacks.



All homes should be plotted so that garages and entries are adjacent to each other. This pattern, which should be periodically broken, creates an undulating sense of space along the streetscape. Variations to this can be made when using rear or side-loaded garages.



Garage Variations

Periodically use swing-in driveways and garages on lots at least 55 feet in width periodically to break up the continuous "stepping stone" appearance of garage doors along the streetscape. The use of swing-in garages should also allow for some reduction in building setbacks, as approved by the Planning Department.

MASS AND FORM

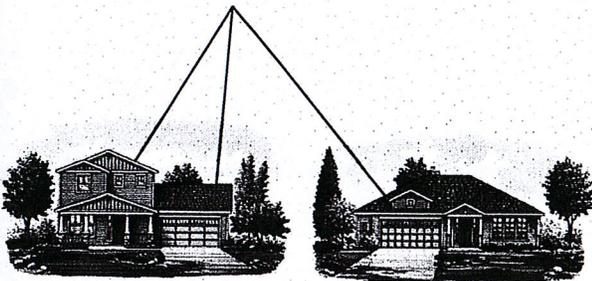
Use of Single Story Elements in 2 Story Buildings

The visual relationship between 1 and 2 buildings can be improved by introducing a transitional element common to both. This element can take the form of a comparable 1 and 2 feature for each structure or a single story feature with the two story building.

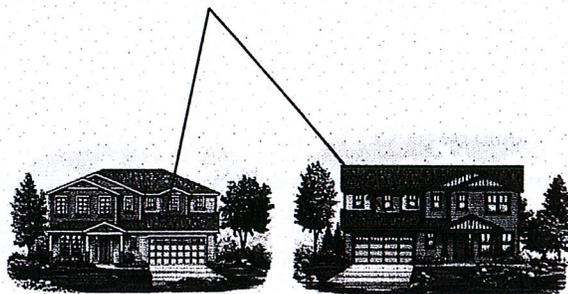
Treatment of Mass at Street Corners

Homes located at street corners should either be single-story or have a significant single story mass plotted towards the side yard adjacent to one of the two streets.

Use of Transitional Architectural Elements Between One and Two Story Homes



Stepping the Second Story Back From the First to Reduce Massing



Treatment of Mass at Interior Lots

Stepping the second story mass away from the property line on interior lots will create the appearance of greater building separation and decrease the potential for a canyon-like effect along the street.

Treatment of Interlocking Mass

Stepping the second story mass back in the front façade of the building will reduce mass and contribute to an improved streetscape. For example, the second story should be set back in relationship to the garage face below it. Building forms should be viewed as a series of interlocking masses rather than a rectangular or “L” shaped box.

ELEVATION AND PLAN TREATMENT

Visual Cohesiveness

Visual balance and a sense of commonness or cohesiveness are trademark components of a successful streetscape. Differences between plans and elevations should be readily discernible and create variety, yet at the same time not contrast to such an extent that results in visual chaos.

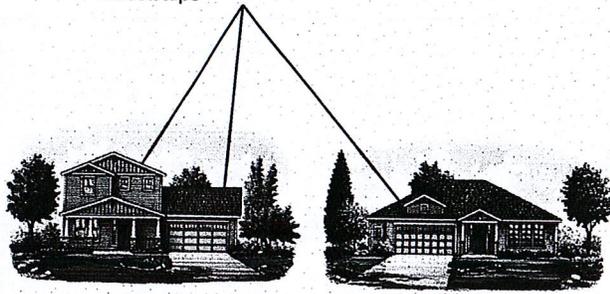
Recesses and Shadow

How light strikes a building is instrumental in how that structure is perceived. As a design consideration, sunlight plays an important role in providing a building with a sense of both depth and substance. Projections, offsets, overhangs and recesses are all tools in the creation of shadows.

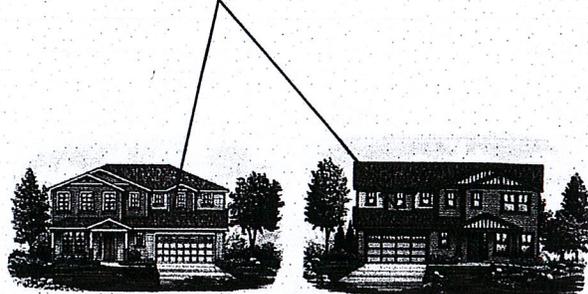
Architectural Projections

Projections create shadows, provide strong visual focal points and can be used to emphasize some aspect of the design such as an entry window. The use of projections is encouraged to draw the observer's attention away from garage doors and large, minimally-adorned walls.

Visual Balance and a Sense of Architectural Cohesiveness are Trademarks of a Successful Streetscape

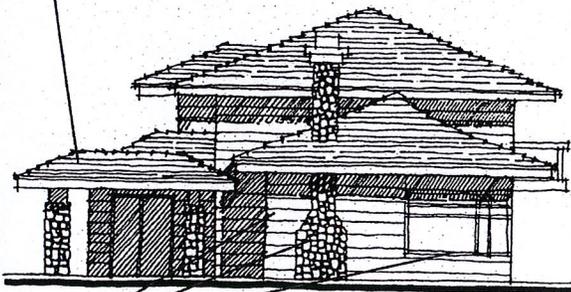


Recessed Second Story Breaks Up Mass and Provides Visual Interest Through the Introduction of Recesses and Shadows



Vertical and Horizontal Stepping Reduces Mass, Creates Recesses and Shadows and Provides for Architectural Projections as Focal Points

Garages Should be Offset and Second Story Volumes Setback from First Story Elements



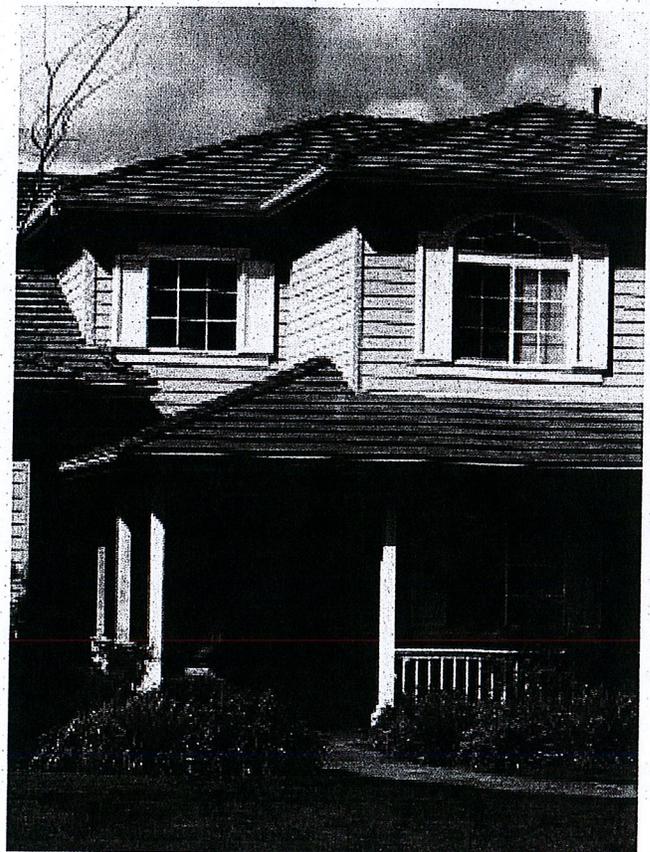
Side Elevations Should Share the Same Common Materials and a Similar Level of Architectural Articulation as the Front and Rear Elevations as Feasible

Stepping Forms

Elevations may be stepped both horizontally and vertically. Changes in materials best occur at a step in elevation.

Side and Rear Yard Building Articulation

Side and rear yard volumes should be minimized. Garages should be vertically and horizontally offset with second story



Horizontal and vertical stepping of the elevation with architectural projection and feature window.

volumes set back from first story elements. It is also desirable, within the limits of economic reality, that front, side and rear elevations share common materials and similar degrees of articulation.

Rows of homes seen from a distance along ridges or on elevated lots should appear as varied as possible with particular attention given to avoiding repetitious gable ends.

ROOF FORMS AND PITCHES

The principal roof forms should have a pitch between 4:12 and 6:12. A single roof pitch should be used on opposite sides of a ridge. Shallow pitches tend to lessen apparent building mass.

Roof Types

Varying roof types add interest to the streetscape. Changing the form of a roof is also a good way to articulate



elevations, as long as the characteristics of the roof are consistent with the same architectural vernacular of the home.

Hip, gable and sheds may be used separately or together on the same roof. Care should be taken to avoid a "canyon" effect in side yards when both buildings have front to rear gables. Likewise, repetitious gable ends along rear elevations should be avoided. Roof forms with pitch changes at a porch or projection are acceptable. Roof forms having dual pitches such as Gambrel or Mansard are not acceptable.

Properly scaled overhangs responding to climatic considerations with a step in the roof form.

Rakes and Eaves

Rake and eave types should be based upon climatic and stylistic considerations. Moderate or extended overhangs are acceptable if properly designed and consistent with the architectural style of the home.

Single or double fascia boards, exposed rafters, or facias when adequately scaled, are acceptable. Care should be taken to ensure material sizes avoid a weak or flimsy appearance. Exposed rafters tails without facias should be at least 2 inches X 4 inches.

Overhang Projections and Covered Porches

Substantial overhangs are encouraged as a response to solar and climatic conditions. The inclusion of covered porches and entries expand sheltered living space, create entry statements and provide elevation relief. Rear covered

porches may differ from the roof in both pitch and material but front porches should retain at least one of these two characteristics.

Stepping the Roof Form

Steps in the roof respond to the interior room arrangement and provide visual relief and interest. A vertical step within the ridge line should be at least 12 inches to 18 inches in order to create visual impact and allow for adequate weather proofing.

MATERIALS AND COLORS

Wood Siding

Most traditional wood siding techniques are generally acceptable. Hardboard siding should be painted with a flat finish to avoid the visual impact of potential warpage. Plywood siding is not acceptable.

Stucco Textures

Smooth, light colored and machine applied textures are appropriate. All "lace" textures are unacceptable.

Trim Materials

All trim materials must be 2 inches X 2 inches or greater. The width of the trim should be appropriate to the chosen architectural style or theme. Resawn and smooth finishes are acceptable.

Use of Stone and Brick

The tasteful use of stone and brick is encouraged. Grout should be of a light color.

Feature Windows Can Create a Strong Focal Element for the Front Facade of a Home

Second Story Balcony Adds Visual Interest to Streetscape, Provides for Additional Outdoor Living Space and Allows for Additional "Eyes on the Street" for Security Purposes



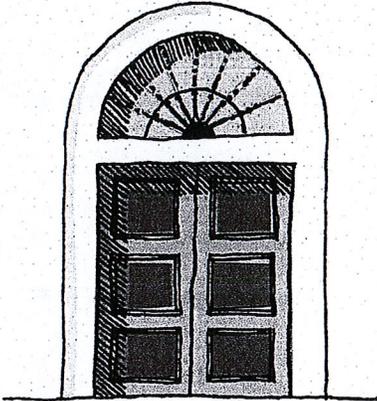
Articulated Front Porch Allows for a Streetside Private Outdoor Space

Focal Entry Point Articulated with Columns and Overhangs Provides for a Transitional Space Between Indoor and Outdoor Space

Gateway Entry Architecturally Establishes the Primary Entry Point When the Front Door is not Visible From the Street

Roof Materials

Clay tile, concrete tile, and composition roofing are acceptable roofing materials when used with the appropriate architectural style. Fiberglass and aluminum roofing is prohibited. Roof colors should relate to the wall and fascia color. They should, however, be of a generally neutral tone while avoiding high contrast or blatant colors such as bright red, deep oranges or ceramic blue. Tile roofs should consist of a blend with one color being neutral. Medium to strong color contrasts within the blend should be avoided. Vents should be of the same color as the surrounding roof surface.



Fan windows above a door add visual interest and allow natural light to penetrate into the home.



Double side lights with a paneled door opens up the home by providing natural light in and a view out. Glass panels in the front door can also be an added security feature.

DESIGN DETAILS

Unit Entries

Residential entries provide important architectural and psychological functions as they frame and identify the front door, provide a transitional element between public and private spaces, and create an initial impression of the home.

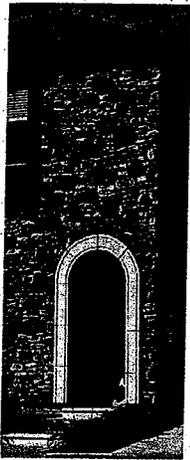
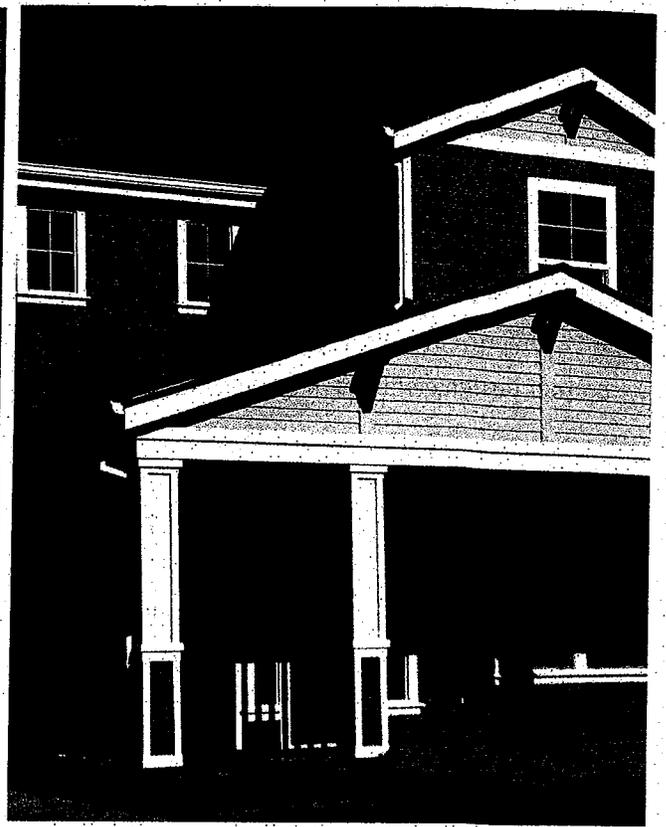
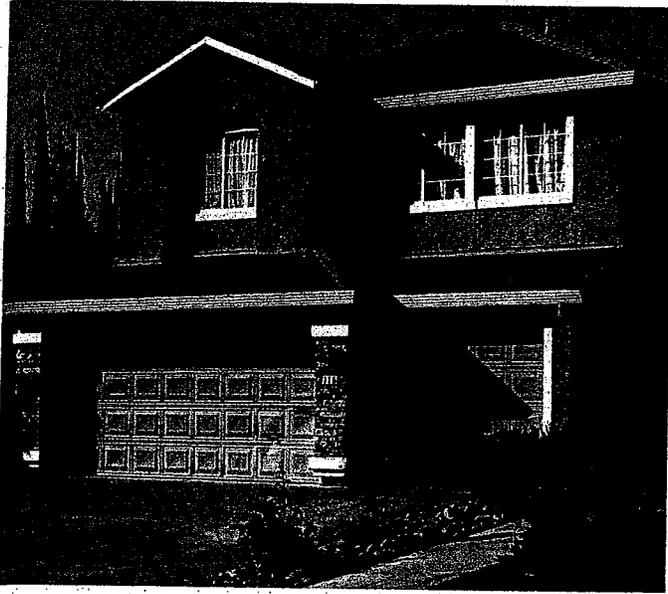
Entries should be designed and located to readily emphasize its primary function. If the door is not visible from the street, ancillary design elements should be used to draw the user to the door. Entryway design should also reduce the dominance the garage door has on the front façade of the residence. Proper use of roof elements, columns, feature windows and architectural forms can contribute to the overall impact and success of the entry.

Doors

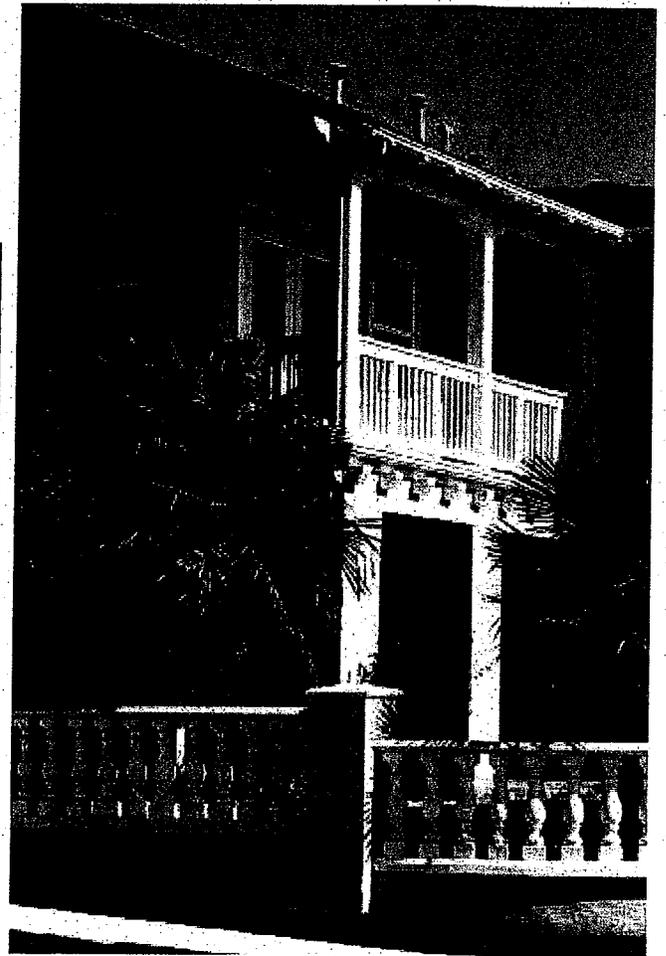
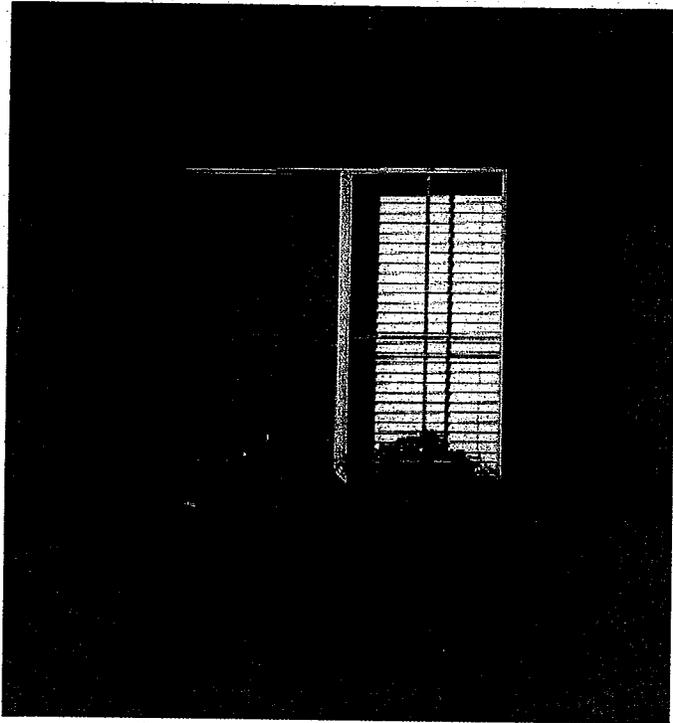
Doors provide a focal design element and should be treated as a singular entity that includes the surrounding frame molding and side lights. Doors should be either recessed into the wall or covered by an overhead element.

Wood is traditionally used for the entry door. Wood grain texture and raised or recessed panels contribute to the appeal of the door. Door color may match or contrast the accent trim, but should be differentiated from the wall color.

The use of glass in the door and overall assembly is encouraged. Glass can be incorporated into the door panels or expressed as single side lights, double side lights, transom glass or fan windows.



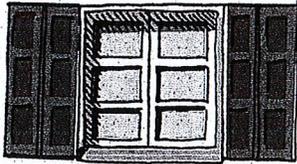
Clockwise from top left: Offset garage with second story projection and horizontal setback. Home with well designed columns supporting a transitional porch with second story windows trimmed with decorative shutters. Roof projection provides additional architectural interest. Home with second story balcony integrated with recessed front door overhang. Windows treated with decorative shutters and plant shelves. Structure with dramatic front facade involving a recessed door framed with a white band to visually separate and identify the entry into the home.



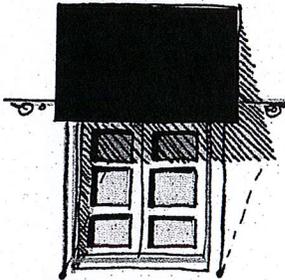
Windows

The use of feature or theme windows in the front elevation can create a strong visual focal element. Feature windows may be used to decrease the visual impact of the garage door, draw attention to the entry, or emphasize some other architectural element.

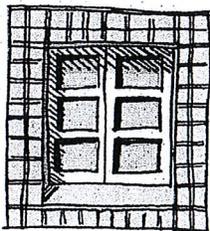
Vinyl frame windows are the most frequently used type for merchant built programs. Bronze anodized frames or those complementary to the color pallet may be used while natural, silver or gold anodized frames are unacceptable. When aluminum frame windows are used, they should appear similar to wood sash windows, and be accentuated with other design elements that could include wood trim, stucco surrounds shutters or recessed openings.



Adding decorative shutters to a window is a cost effective way to add accent and break up large expanses of blank walls.



Adding an awning to a window provides both a decorative touch and a way to reduce sunlight penetration during the summer months.



Adding a tile trim around selected windows can provide a dramatic feature to the design of a home.

Window treatments on rear and side yard elevations should be designed with a similar intent to that associated with the front elevation. This is particularly true for windows visible from a public street. When applicable, windows should also be integrated with other architectural details to provide a focal element of interest. Consideration should be given to using overhangs or projections.

Skylights are encouraged if properly installed and weatherproofed. The skylight should be designed to appear as an integral part of the roof plane. Skylights should be clear or bronzed with the framework matching the roof or trim color.

Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. Balconies break up large wall planes, create visual interest and add human scale to a building. Balconies provide the practical advantage of creating outdoor living areas and elevated open space.

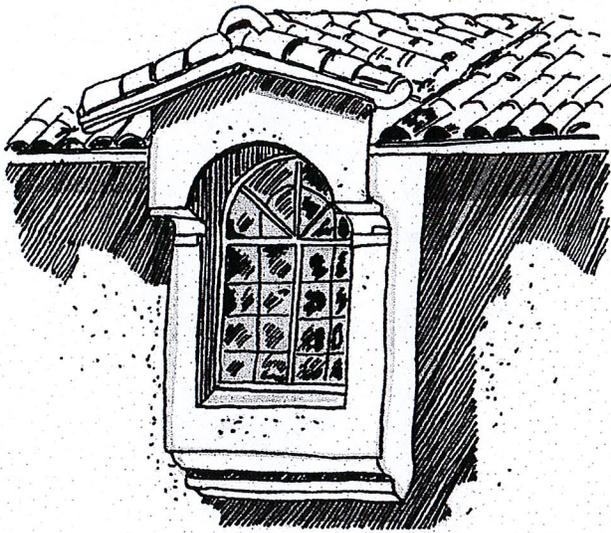
Balconies may be covered or open, recessed into the mass of the building or serve as a projecting element. However they are used, balconies must appear to be an integral element of the building. Details, eave supports, and railing must be consistent with the balance of the building design elements or style. Concern should be given to avoid designing balconies in such a manner that they are used in homes plotted side-by-side.

Garages

The impact garage doors have on front elevations should be minimized through the use of:

- Designs with a mix of 2 and 2.5 stall garages.
- Second story feature windows above the garage and strong architectural entry elements.
- Wing-in or side-entry garages with reduced front-yard setbacks.
- Single doors in some 3 stall garage plans.
- A 2 foot setback between adjacent garages.
- A compact length third stall.

The use of a sectional garage door is encouraged.



Feature theme window designed as an architectural projection can provide a focal point and break up the front facade of a home.

Conventional wood panel garage doors are acceptable when properly trimmed. Metal doors may only be used when they include either textured or raised panels of a wood-like character consistent with a “residential look”. The use of window elements in garage door design is encouraged. The design of the garage door should reflect the theme or style of the overall unit design. Proper use of accent colors will complement the architecture and provide visual variety along the streetscape.

The visual impact of using plywood for the door face can be mitigated by covering the joints with trim, if possible. The production drawings should reflect the design intent to insure that it is carried out at the job site.

It is highly desirable to recess the garage door 6 to 12 inches from the face of the building. This allows for a strong shadow line and decreases the visual impact of the door while increasing the apparent sense of mass on the surrounding wall. These techniques may be used individually or in combination.

Columns and Posts

Columns and posts used in architectural detailing should project a substantial and durable image. Posts should be not less than 6 inches in diameter, and may be built up from multiple pieces. Use of 4 inch posts and metal pipe columns is prohibited. Columns may be clad in masonry or stucco and should be at least 14 inches wide with a height of approximately 4 to 5 times the width of the column.

It is desirable that columns incorporate both base and capitals. Related arches may be flat, round, or segments of an arch, provided that the arch and / or column is appropriate for the specific architectural style.

Gutters

Exposed gutters should be colored to match fascia materials. Exposed downspouts should likewise be colored to match the surface to which they are attached, unless copper downspouts are used.

ENERGY EFFICIENCY

Energy efficiency measures applicable to Winters Highlands beyond those specified in Title 24 and the California Green Building Code including:

- The use of glazed areas shaded through the use of architectural recessions, awnings and trellises. Windows and doors with eastern and southern exposures are most prone to heat buildup.
- The use of lighter colors in building finishes provide a higher reflection coefficient to reduce the heat load within a building, which in turn reduces the required load on the HVAC system needed to cool the structure.



Well designed home incorporating many of the design elements discussed in these Guidelines, including an architecturally accented front entry, properly proportioned columns supporting a covered porch, recesses and shadows in both first and second story masses, a recessed garage with a projecting architectural element above, focal window treatment above the garage doors, stepped first and second story elements (horizontally and vertically), enhanced window treatments on other elevations and garage doors separated by an architectural column.

Planning Commission Conditions of Approval

Design Review Model Homes Phase 1,
Stones Throw Subdivision (formerly Winters Highlands)

July 25, 2017

1. The project is described in the July 25, 2017 Planning Commission staff report. The project shall be constructed as depicted on the exhibits dated June 23, 2017 and included in the July 25, 2017 Planning Commission Staff report, except as modified by these conditions of approval. Substantive modifications require public hearing(s) and Planning Commission action.
2. The Design Review/Site Plan approval shall expire in one year (March 6, 2016) from its date of approval unless the applicant begins construction of the infrastructure improvements necessary for the project or requests and receives an extension from the Community Development Director. The applicant shall bear all expenses for any extension request submitted to the Community Development Director.
3. Prior to issuance of a building permit the applicant shall comply with all relevant conditions of approval in the Development Agreement.
4. Prior to issuance of a building permit the applicant shall submit for approval by the Community Development Department the following:
 - a. Front yard landscaping plans, including irrigation and fencing details. Fencing shall be designed as a "good neighbor" fence using steel posts faced with wood to reduce long-term maintenance costs.
 - b. Off-site and on-site directional signage plan.
5. The applicant/owner shall pay all applicable impact fees and charges at the rate and amount in effect at the time such fees and charges become due and payable.
6. The applicant shall comply with requirements of all other agencies of jurisdiction.
7. 48-hours prior to commencement of construction activity, Applicant shall notify residents within 300 feet of the work.
8. Light standards and building attached fixtures need to be a decorative and of a superior design quality.
9. The applicant shall obtain all required City permits (building, encroachment (City and State) for work within the public right-of-way, etc.) and pay all applicable fees (building, impact, encroachment, etc.).

10. The applicant shall provide the City with proof of payment receipts for Winters Joint Unified School District mitigation and Yolo County facilities and services authorization fees at building permit issuance.
11. The applicant shall report to the City building materials diverted from land filling during the course of their project, pursuant to the provisions of City of Winters Ordinance No. 2002-03.
12. Final inspection for the buildings shall not be scheduled nor occupancy authorized until the public improvements (sewer laterals, sewer cleanouts, water laterals, water meters, driveway aprons on Grant Avenue, fire hydrants installation, etc.) have been installed, inspected, and accepted by the City. Other infrastructure necessary for the project such as paving, striping of parking spaces outside of the buildings, construction of an on-site flood control facility, landscaping, etc. shall be completed prior to final inspection of the buildings.
13. The payment of City of Winters' monthly utility billing charges shall commence after the buildings have passed final inspection. The applicant shall pay the City of Winters monthly utility charges at the metered rate for water and sewer.
14. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project Applicant shall defend, indemnify, and hold harmless the City or its agents, officers and employees, from liability, damages, penalties, costs or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense which includes court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the Applicant in good faith approves the settlement, and the settlement imposes direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district and the City Council.



**PLANNING COMMISSION
STAFF REPORT**

TO: Chair and Planning Commissioners
DATE: July 25, 2017
FROM: David Dowswell, Contract Planner 
SUBJECT: Study Session – Follow-up discussion involving General Plan Policy, Section 17.56.020 of the Zoning Ordinance regarding creek setbacks and Chapter 17.04 regarding nonconforming uses, structures and lots.

RECOMMENDATION: The Planning Commission discuss the current policies and zoning regulations regarding creek setbacks, ask questions, take comments from the public and give staff direction.

BACKGROUND: On April 25, 2017 at a study session staff discussed with the Commission the City's policies and zoning regulations regarding creek setbacks along Putah and Dry Creeks. At the hearing the property owners of 508 Abbey spoke in support of amending the policies/zoning regulations to allow them to build an addition within seven (7) feet of the top of the bank along Dry Creek.

There are a number of policies in the General Plan that discuss the protection and enhancement of wetlands, riparian and aquatic ecosystems of Putah and Dry Creeks (Attachment A). Policy VI.D.1 requires all new development along Dry Creek be setback 50 feet from the top of the creek bank. This policy was derived from a discussion in the General Plan Background Report. The Background Report discusses creating 50-100 setbacks to help protect both Putah and Dry creeks from the future effects of urban development which could increase flood flows and velocities within both channels leading to greater erosion and scouring of the creek banks. The report references the adverse effects (loss of vegetation and scouring) the existing subdivisions have had on the opposite bank from the homes along Dry Creek.

Section 17.56.020D of the Zoning Ordinance states, "No new structural development shall be allowed within fifty (50) feet of the top of bank along Putah Creek west of Railroad Avenue and along Dry Creek or within one hundred (100) feet of the top of

bank of Putah Creek east of Railroad Avenue. This regulation was created in response to policy VI.D.1 in the General Plan.

Section 17.104.020 of the Zoning Ordinance states, "Nonconforming Structures – Improvement. Any expansion of a nonconforming structure must be in conformance with current zoning and building codes."

ANALYSIS: At the April 25, 2017 study session staff indicated would review other cities creek setback and nonconforming structure regulations and return with to the Commission with updated information. Staff obtained creek setback regulations from the cities of Lafayette, San Rafael, Fairfax, San Anselmo, Albany, and Novato. Staff obtained nonconforming structure regulations from the same six cities and the City of Davis.

Creek Setbacks: The creek setback regulations for each of the six cities vary as follows:

Lafayette – 0 to 6 feet channel depth, 12 foot setback
6 to 12 feet channel depth, 15 foot setback
12 to 18 feet channel depth, 18 foot setback
18 to 21 feet channel depth, 21 foot setback

The city engineer may approve exceptions to the setback requirements subject to certain conditions.

San Rafael – 25 to 100 foot setback from top of bank. On lots of two (2) or more acres 25 to 100 foot setback. The City requires planning commission approval for any exception to their creek setback regulations.

Fairfax – 20 foot setback or two (2) times the average depth of the bank, whichever is greater. The City requires a permit from building department for any work done within a creek setback.

San Anselmo – 15 foot setback from top of bank. The public works director may approve an exception to the setback requirement subject to first obtaining a permit.

Albany – 20 foot setback from top of bank.

Novato – 50 foot minimum setback from top of bank. The City requires a use permit and approval of their zoning administrator for any modification to the "Stream Protection Zone" which is established for all creeks and streams.

Nonconforming Structures: Regulations for nonconforming structures for each of the seven cities are as follows:

Lafayette - Staff was unable to find language in the City of Lafayette's municipal code regarding nonconforming structures.

San Rafael - "Alterations and additions may be made to a nonconforming structure provided that there shall be no increase in the discrepancy between existing conditions and standards for the district."

Fairfax - "No non-conforming structure shall be moved, altered, enlarged, or reconstructed so as to increase the discrepancy between existing conditions and the standards of coverage, front yard, side yards, rear yards or height of structures prescribed in the regulations for the district in which the structure is located without a variance issued under Chapter 17.16."

San Anselmo - "Any nonconforming building or improvement may be permitted to be enlarged, extended, or reconstructed with different dimensions in cases where an application for a variance is first approved as provided in Article 14 of this chapter of the San Anselmo Municipal Code."

Albany - "Nonconforming Structures: Additions and Enlargements. A nonconforming structure, or a structure located on a nonconforming lot, if such structure is used for residential purposes may be enlarged or extended, and the number of dwelling units may be increased to the maximum density allowed in the district, provided that no greater degree of nonconformity results with respect to the requirements of the district within which it is located and of this section, and that there is compliance with all applicable City building and housing codes. The preexisting portion of the facility need not be brought into conformance with this Chapter, except as herein provided."

Novato - "A nonconforming structure may undergo additions or alterations, normal maintenance and repairs, including painting, interior and exterior wall surface repair, window and roof repair, and fixture replacement, provided the additions and alterations, and/or repairs comply with all applicable provisions of this Zoning Ordinance."

Davis - "Except as provided in subsection (b)(1) and (2) of this section, enlargements or alterations may be made to nonconforming structure only if the enlargements or alterations are consistent with the zoning standards for the district.

- (1) Nonconforming single-family and duplex structures may be expanded with the first story setbacks less than those required by the zoning standards for the district only if the following apply:
 - A. The structure was legally built prior to the effective date the zoning ordinance amendment rendered the structure nonconforming;
 - B. The structure has side yards consistent with the zoning standards at the time of construction;
 - C. The expansion does not reduce the first-story side yard setbacks below those currently existing for the structure, even if those

- setbacks are less than would otherwise be allowed in the zoning district; and
- D. Any second-story expansion is consistent with the setback requirements of this chapter.”

The homeowners’ of 508 Abbey Street and all of the homes shown on Assessor’s page 3-40 (Attachment B), which back up to Dry Creek, are nonconforming because the homes are in violation of Section 17.56.070 of the Zoning Ordinance, which requires homes be setback 50 feet from the top of bank. According to Section 17.104.020 of the Zoning Ordinance, “Any expansion of a nonconforming structure must be in conformance with current zoning and building codes.” Most of the homes (Attachment C) along Dry Creek have only a small portion located outside the required 50 foot setback. Based on the language in Section 17.104.020 of the Zoning Ordinance none of these homes could legally be added onto, either vertically or horizontally, nor could the homeowners build any structures in their backyards without a variance. Making variance findings is very difficult.

In five of the seven cities mentioned above the property owner can add a first or second story addition to a nonconforming structure/home that does not comply with the zoning setbacks, including the setback from a creek, so long as the addition does not increase the discrepancy between the existing conditions and the required setback. In some cities a nonconforming structure located along a creek may encroach into the setback, subject to the owner of the nonconforming structure first obtaining a permit from the public works/city engineer/planning commission/zoning administrator.

RECOMMENDATION: The Planning Commission should discuss the current policies and zoning regulation regarding nonconforming structures and give staff direction as to next steps.

ATTACHMENTS:

- A. Policies in General Plan regarding Putah and Dry Creeks
- B. Assessor’s parcel map page 3-40
- C. Neighborhood site plan showing location of existing homes located along Dry Creek

Habitat Management Plan. Such plan shall provide baseline data for the Winters area on special-status plant and animal taxa, including Swainson hawk and the valley elderberry longhorn beetle, and provide guidelines and standards for mitigation of impacts on special-status taxa.

- VI.C.5. The City shall require mitigation of potential impacts on special-status plant and animal taxa based on a policy of no-net-loss of habitat value. Mitigation measures shall incorporate as the City deems appropriate, the guidelines and recommendations of the U.S. Fish and Wildlife Service and the California Department of Fish and Game. Implementation of this policy may include a requirement that project proponents enter into an agreement with the City satisfactory to the City Attorney to ensure that the proposed projects will be subject to a City fee ordinance to be adopted consistent with the regional *Habitat Management Plan*.
- VI.C.6. The City shall undertake a feasibility study for the establishment of an Open Space Preserve between the Urban Limit Line and Grant Avenue west of I-505. Such preserve should be designed to provide for a combination of uses including agriculture, habitat protection, groundwater recharge, and educational and recreational activities. The Open Space Preserve should, to the maximum extent possible, be designed to function as part of the City's flood control and wastewater discharge system. The City should consider requiring developments that cannot mitigate wetlands or riparian habitat impacts on-site to make in-lieu contributions to the establishment, development, and maintenance of the Open Space Preserve or other mitigations consistent with the regional *Habitat Management Plan*.
- VI.C.7. The City shall promote the use of drought-tolerant and native plants, especially valley oaks, for landscaping roadsides, parks, schools, and private properties.
- VI.C.8. Parks, the drainage detention areas, and golf course development shall incorporate areas of native vegetation and wildlife habitat.
- VI.C.9. Large, older and historically-significant trees should not be removed unless they are diseased or represent an unavoidable obstacle to development. Development should be designed and constructed to avoid adverse impacts on such trees.
- VI.C.10. The City shall encourage and support development projects and programs that enhance public appreciation and awareness of the natural environment.
- Goal VI.D: To promote the protection and enhancement of wetlands and the riparian and aquatic ecosystems of Putah Creek and Dry Creek.**
- VI.D.1. The City shall require that all new development along Putah Creek east of Railroad Avenue be set back at least 100 feet from the top of the creek bank, that all new development along Putah Creek west of Railroad Avenue be set back at least 50 feet from the top of the creek bank, and that all new development along Dry Creek be set back at least 50 feet from the top of the creek bank. Where there is no discernable bank, the set back shall be measured from the line closest to the creek where riparian vegetation is permanently established.
- VI.D.2. Except for recreational trails and recreational uses developed along Putah Creek in the downtown area, the Putah Creek and Dry Creek corridors should be preserved as much as possible in their natural state. Public access and recreational facilities shall not eliminate or

degrade riparian habitat values. Trails, picnic areas, and other recreational developments shall be sited to minimize impacts on sensitive wildlife habitat or riparian vegetation.

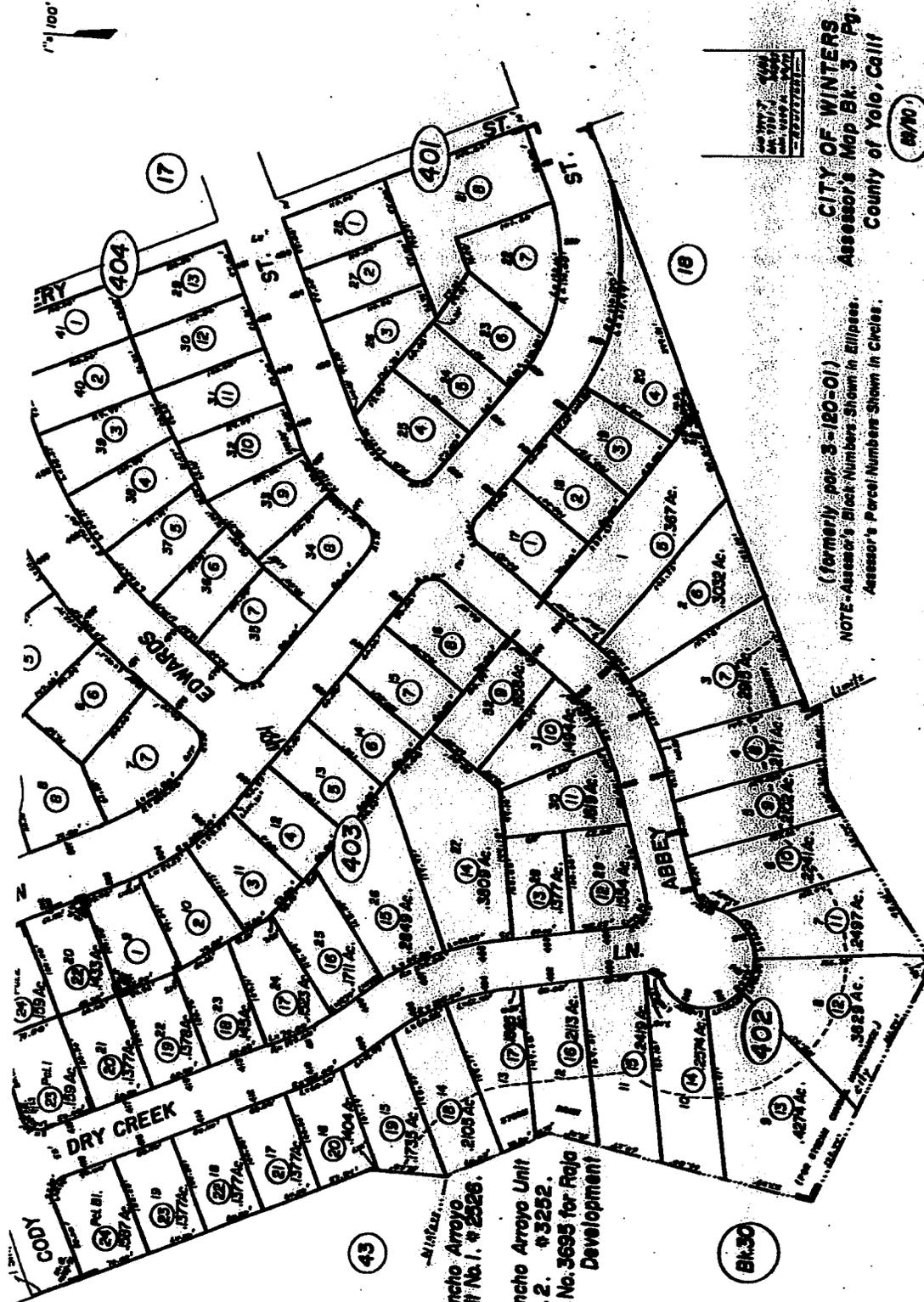
- VI.D.3. The City shall develop a program for habitat management within the Putah Creek and Dry Creek corridors consistent with the following principles:
- Trees and shrubs planted within the creek corridors shall be selected from a list of native plants approved by the City.
 - Non-native trees and shrubs shall be removed from the creek corridors according to a long-term program approved by the City.
 - New irrigation and planting within the dripline of existing native oaks shall be prohibited. Irrigated turf areas shall be placed only in areas where there are no mature native trees that could be damaged by changes in the environment, such as summer watering.
- VI.D.4. Any upstream development that creates potential erosion impacts on Dry Creek and Putah Creek shall be required to adopt all feasible measures to mitigate such impacts.
- VI.D.5. Modifications to creek/channels and other wetland features (e.g., bridge crossing, flood control improvements, or culverting) shall be designed to minimize disturbance to areas of dense riparian and marshlands cover. Any proposed channel modifications shall be coordinated with representatives of the California Department of Fish and Game and the U.S. Army Corps of Engineers to ensure that the concerns and requirements of both agencies can be easily incorporated into specific development plans during the initial phase of project design. Where wetland features are present, jurisdictional determinations and appropriate mitigation will be required subject to the provisions of Section 404 of the Clean Water Act and Sections 1601-1606 of the CDFG Code. Preliminary determinations and coordination with jurisdictional agencies shall be completed prior to approving specific development plans on parcels with wetland features.
- VI.D.6. The City shall seek state grant funding for revegetation, habitat preservation, and erosion control in the Putah Creek and Dry Creek corridors.
- VI.D.7. The City shall work with Yolo County, Solano County, the Putah Creek Council, the California Department of Fish and Game, and the U.S. Army Corps of Engineers in establishing guidelines for erosion control measures along Putah Creek and Dry Creek. Such guidelines should implement the following principles:
- Slope stabilization projects should emphasize revegetation.
 - Stabilization projects that involve the use of cribs, gabions, rock and wire mattresses, or wire mesh over stone should be screened from public view with vegetation to assure a naturalistic appearance.
- VI.D.8. Brush clearing, mowing of natural vegetation, fire breaks, or similar activities along Putah Creek and Dry Creek shall be prohibited unless a demonstrated need exists to protect the public health, safety, or welfare, as determined by the Fire Protection District or other public agency with legal jurisdiction.

VI.D.9. No mining or gravel extraction operations shall be permitted in the Putah Creek and Dry Creek corridors.

Goal VI.E: To promote and, to the extent possible, improve air quality in Winters and the region.

Policies:

- VI.E.1. The City shall cooperate with the Yolo-Solano Air Pollution Control District in an effort to ensure the earliest practicable attainment and subsequent maintenance of federal and state ambient air quality standards.
- VI.E.2. The City shall utilize the CEQA process to identify and avoid or mitigate potentially significant air quality impacts of new development. The CEQA process shall also be utilized to ensure early consultation with the Yolo-Solano Air Pollution Control District concerning air quality issues associated with specific development proposals.
- VI.E.3. The City shall notify and coordinate with the Yolo-Solano Air Pollution Control District when industrial developments are proposed. Such coordination will assist applicants in complying with applicable air quality regulations and will assist the City in promptly identifying and resolving potential air quality problems.
- VI.E.4. Major intersections shall be designed to minimize long vehicle delays which result in carbon dioxide (CO) "hot spots."
- VI.E.5. The City shall, to the extent practicable, separate sensitive land uses from significant sources of air pollutants or odor emissions.
- VI.E.6. The City shall require for both public and private projects that construction-related dust be minimized. Larger projects that create a potential for generating a significant amount of construction-related dust shall be required to include dust control measures as part of their construction mitigation plans.
- VI.E.7. The City shall promote expansion of employment opportunities within Winters to reduce commuting to areas outside Winters.
- VI.E.8. The City shall attempt through careful land use and site planning to reduce automobile use.
- VI.E.9. The City shall actively promote ridesharing.
- VI.E.10. The City shall contribute through tree planting and preservation to the enhancement of air quality.
- VI.E.11. In granting development entitlement, the City shall require all new industrial and commercial developments within the city projected to generate more than 500 trips per day (based on typical generation rates) to develop an air quality mitigation plan. This plan shall include an analysis of how the project would utilize site planning, mixed land uses, transportation systems management measures (e.g., carpooling, van pooling, shuttle bus service, transit incentives, etc.) to reduce by 25 percent the number of trips that would typically be projected for such development. Where this goal cannot be met by these methods, the plan shall provide for off-



M.B. Bk. 10, Pg. 52-54 - Rancho Arroyo Unit No. 1. # 2526.
 M.B. Bk. 14, Pg. 69-91 - Rancho Arroyo Unit No. 2. # 3252.
 P.M. Bk. 9, Pg. 23-25 - Pal Map No. 3695 for Raja Development

(formerly per 3-120-01)
 NOTE - Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.

CITY OF WINTERS
 Assessor's Map Bk. 3 Pg. 40
 County of Yolo, Calif.

08/90

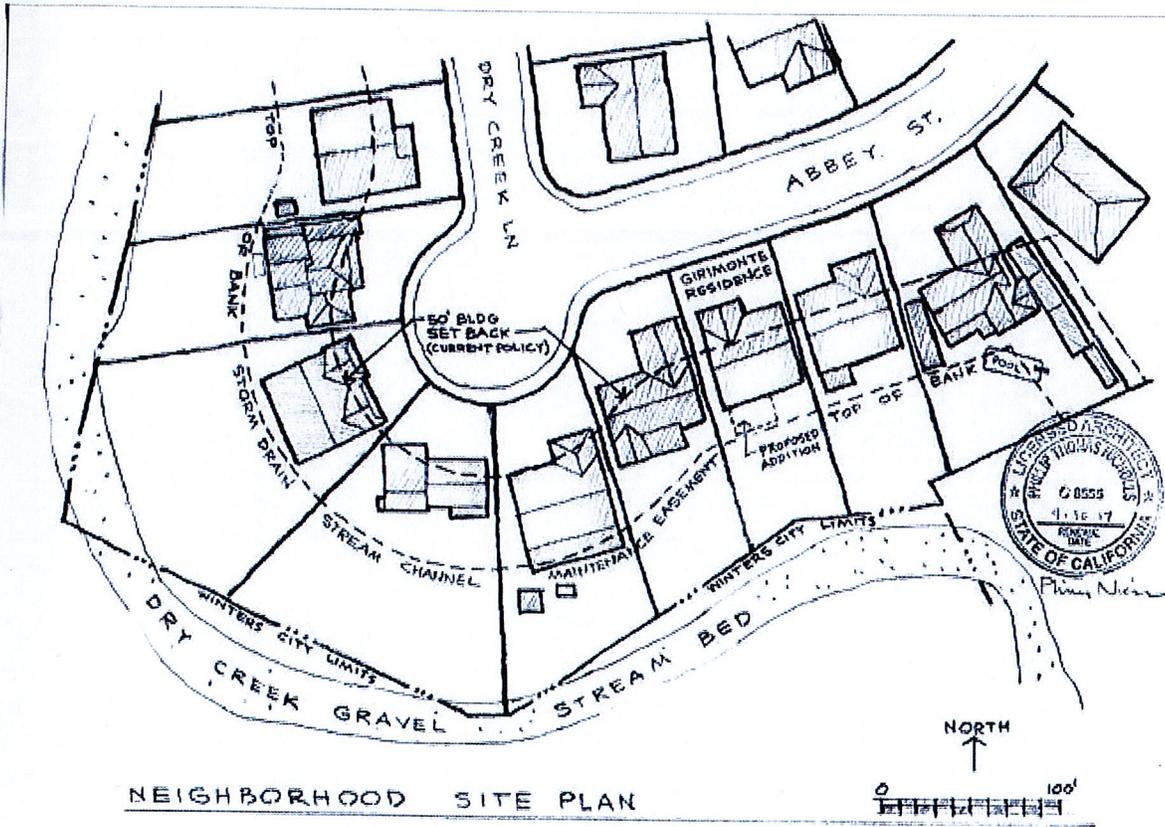
Dave Dowswell

From: Phillip Nicholls <nicholls.phil.lynn@gmail.com>
Sent: Wednesday, April 12, 2017 2:02 PM
To: Dave Dowswell
Subject: Girimonte Addition

Dave,

Here is the revised drawing as we discussed.

Phil Nicholls

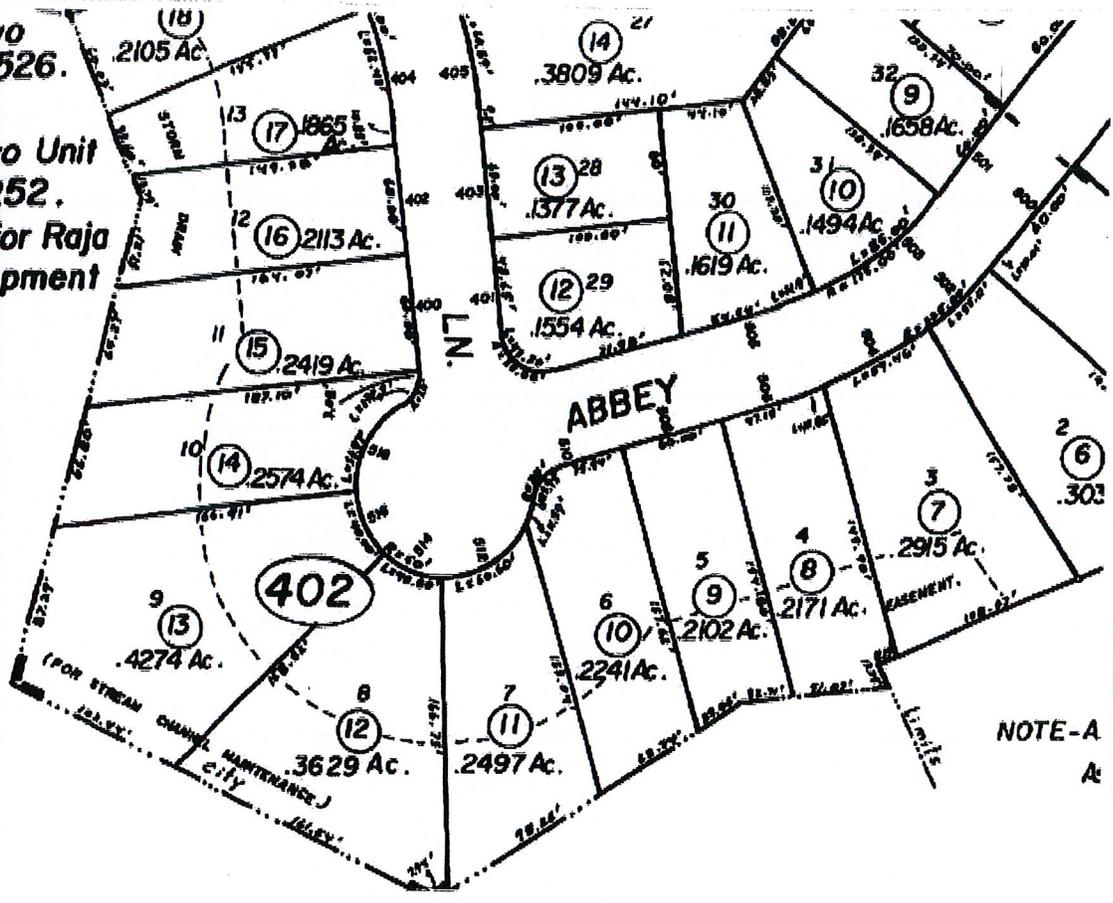


NEIGHBORHOOD SITE PLAN

GIRIMONTE RESIDENCE ~ 508 ABBEY ST. - WINTERS, CALIFORNIA
PROPOSED BEDROOM ADDITION
APRIL 12, 2017

oyo
2526.

oyo Unit
3252.
5 for Raja
Development



NOTE-A
A