

CITY OF WINTERS PLANNING COMMISSION AGENDA

Tuesday, June 28, 2016 @ 6:30 PM
City of Winters Council Chambers
318 First Street
Winters, CA 95694-1923
Community Development Department
Contact Phone Number (530) 794-6713
Email: jenna.moser@cityofwinters.org

Chairman: Bill Biasi
Vice Chairman: Kate Frazier
Commissioners: Dave Adams, Lisa Baker,
Paul Myer, Frank Neal, Patrick Riley
City Manager: John W. Donlevy, Jr.
Associate Planner: Jenna Moser

I CALL TO ORDER

II ROLL CALL & PLEDGE OF ALLEGIANCE

III CITIZEN INPUT: Individuals or groups may address the Planning Commission on items which are not on the Agenda and which are within the jurisdiction of the Planning Commission. NOTICE TO SPEAKERS: Speaker cards are located on the first table by the main entrance; please complete a speaker's card and give it to the Planning Secretary at the beginning of the meeting. The Commission may impose time limits.

IV CONSENT ITEM

A. Minutes of the May 24, 2016 meeting of the Planning Commission.

V STAFF/COMMISSION REPORTS

VI DISCUSSION ITEMS:

1. Public Hearing to consider an application from Project applicant, Ashraf & Yasmin A. Ali & Samir Ali, for Tentative Parcel Map, Site Plan/Design Review, Conditional Use Permit, and Rezone (Planned Development Overlay) to demolish the existing convenience store market and construct a new 2,597 square foot Chevron convenience store market and car wash, a 2,200 square foot Starbucks coffee shop with drive through lane, and 72 unit 13,617 square foot Fairfield Inn & Suites Hotel in the vicinity of Grant Avenue and Matsumoto Lane. The Tentative Parcel Map will divide 2 existing parcels totaling 6.761 acres into 4 Parcels A, B, C and D. Design elements include cohesive exterior building material selection, dense landscaping, and improvements to Grant Avenue and Matsumoto Lane. The Conditional Use Permit would permit Chevron to expand their alcohol sales and to allow a hotel in a Highway Service Commercial C-H Zone. The Rezone (Planned Development Overlay) permits the height of hotel to be increased from 30 to 46'6" feet. The Planning Commission will take final action on Tentative Parcel Map, Site Plan/Design Review, and Conditional Use Permit unless appealed to the City Council. The Planning Commission will make a recommendation to the City Council regarding the Rezone (Planned Development Overlay).

VII COMMISSION/STAFF COMMENTS

VIII ADJOURNMENT

POSTING OF AGENDA: PURSUANT TO GOVERNMENT CODE § 54954.2, THE COMMUNITY DEVELOPMENT MANAGEMENT ANALYST POSTED THE AGENDA FOR THIS MEETING ON JUNE 23, 2016



JENNA MOSER, ASSOCIATE PLANNER

APPEALS: ANY PERSON DISSATISFIED WITH THE DECISION OF THE PLANNING COMMISSION MAY APPEAL THIS DECISION BY FILING A WRITTEN NOTICE OF APPEAL WITH THE CITY CLERK, NO LATER THAN TEN (10) CALENDAR DAYS AFTER THE DAY ON WHICH THE DECISION IS MADE.

PURSUANT TO SECTION 65009 (B) (2), OF THE STATE GOVERNMENT CODE "IF YOU CHALLENGE ANY OF THE ABOVE PROJECTS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING(S) DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY PLANNING COMMISSION AT, OR PRIOR TO, THIS PUBLIC HEARING".

MINUTES: THE CITY DOES NOT TRANSCRIBE ITS PROCEEDINGS. ANYONE WHO DESIRES A VERBATIM RECORD OF THIS MEETING SHOULD ARRANGE FOR ATTENDANCE BY A COURT REPORTER OR FOR OTHER ACCEPTABLE MEANS OF RECORDATION. SUCH ARRANGEMENTS WILL BE AT THE SOLE EXPENSE OF THE INDIVIDUAL REQUESTING THE RECORDATION.

PUBLIC REVIEW OF AGENDA, AGENDA REPORTS, AND MATERIALS: PRIOR TO THE PLANNING COMMISSION MEETINGS, COPIES OF THE AGENDA, AGENDA REPORTS, AND OTHER MATERIAL ARE AVAILABLE DURING NORMAL WORKING HOURS FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, A LIMITED SUPPLY OF COPIES OF THE AGENDA WILL BE AVAILABLE FOR THE PUBLIC AT THE MEETING. COPIES OF AGENDA, REPORTS AND OTHER MATERIAL WILL BE PROVIDED UPON REQUEST SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. A COPY FEE OF 25 CENTS PER PAGE WILL BE CHARGED.

ANY MEMBER OF THE PUBLIC MAY SUBMIT A WRITTEN REQUEST FOR A COPY OF PLANNING COMMISSION AGENDAS TO BE MAILED TO THEM. REQUESTS MUST BE ACCOMPANIED BY A CHECK IN THE AMOUNT OF \$25.00 FOR A SINGLE PACKET AND \$250.00 FOR A YEARLY SUBSCRIPTION.

OPPORTUNITY TO SPEAK, AGENDA ITEMS: THE PLANNING COMMISSION WILL PROVIDE AN OPPORTUNITY FOR MEMBERS OF THE PUBLIC TO ADDRESS THE COMMISSION ON ITEMS OF BUSINESS ON THE AGENDA; HOWEVER, TIME LIMITS MAY BE IMPOSED AS PROVIDED FOR UNDER THE ADOPTED RULES OF CONDUCT OF PLANNING COMMISSION MEETINGS.

REVIEW OF TAPE RECORDING OF MEETING: PLANNING COMMISSION MEETINGS ARE AUDIO TAPE RECORDED. TAPE RECORDINGS ARE AVAILABLE FOR PUBLIC REVIEW AT THE COMMUNITY DEVELOPMENT DEPARTMENT FOR 30 DAYS AFTER THE MEETING.

THE COUNCIL CHAMBER IS WHEELCHAIR ACCESSIBLE

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD MAY
24, 2016**

***DISCLAIMER:** These minutes represent the interpretation of statements made and questions raised by participants in the meeting. They are not presented as verbatim transcriptions of the statements and questions, but as summaries of the point of the statement or question as understood by the note taker.*

Chair Biasi called the meeting to order at 6:30 p.m.

PRESENT: Commissioners Adams, Baker, Myer, Neal, Riley, Biasi

ABSENT: Frazier

STAFF: Contract Community Development Director Dave Dowswell, Management Analyst Jenna Moser, Housing Programs Manager Dan Maguire

Dan Maguire led the pledge of allegiance.

CITIZEN INPUT: None at this meeting.

CONSENT ITEM: Minutes of the April 26, 2016 meeting of the Planning Commission.

Commissioner Myer moved and Riley seconded to approve Minutes of the April 26, 2016 meeting of the Planning Commission with minor typographical correction.

AYES: Commissioners Adams, Baker, Myer, Neal, Riley, and Chair Biasi

NOES: None

ABSTAIN: None

ABSENT: Frazier

Motion carried unanimously with Frazier absent.

STAFF/COMMISSION REPORTS: Moser requested that Commissioners provide staff a list of committees that they attend as Planning Commissioners in order to prepare a list of assignments.

INFORMATION ITEM: None

DISCUSSION ITEM:

- A. Public Hearing and Consideration of Ordinance 2016-06, an Ordinance of the City of Winters Code Pertaining to Affordable Housing Requirements

Maguire provided an overview of the staff report and proposed Ordinance. Chairman Biasi opened the Public Hearing at 6:47pm. Hearing no comments, Biasi closed the public hearing at 6:48pm. Baker asked about the response from Legal Services of Northern CA. Maguire responded that it has the unanimous recommendation from LSoNCA.

Commissioner Baker moved and Myer seconded to recommend to the City Council approval of Ordinance 2016-06.

AYES: Commissioners Adams, Baker, Myer, Neal, and Riley

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD MAY
24, 2016**

NOES: Biasi
ABSTAIN: None
ABSENT: Frazier

Motion carried unanimously with Frazier absent.

- B. Public Hearing and consideration of various amendments to Title 8 (Health and Safety, Noise Control) and Title 17 (Zoning Ordinance, Performance Standards) of Winters Municipal Code, which includes the following entitlements: 1. Finding the project Categorically Exempt from CEQA Section 15308, Actions by Regulatory Agencies to Protect the Environment. 2. Recommending the City Council adopt an ordinance amending Chapters 8.20 (Noise Control) and 17.68 (Performance Standards).

Dowswell provided an overview of the staff report. Biasi opened the Public Hearing at 6:51pm. Hearing no comments, Biasi closed the Public Hearing at 6:51pm. Baker thanked staff for addressing the comments from the previous study session from April 26th.

Commissioner Myer moved and Baker seconded to recommend approval of various amendments to Title 8 (Health and Safety, Noise Control) and Title 17 (Zoning Ordinance, Performance Standards) of Winters Municipal Code, which includes the following entitlements: 1. Finding the project Categorically Exempt from CEQA Section 15308, Actions by Regulatory Agencies to Protect the Environment. 2. Recommending the City Council adopt an ordinance amending Chapters 8.20 (Noise Control) and 17.68 (Performance Standards).

AYES: Commissioners Adams, Baker, Myer, Neal, Riley, and Chair Biasi
NOES: None
ABSTAIN: None
ABSENT: Frazier

Motion carried unanimously with Frazier absent.

- C. Public Hearing and consideration of various amendments to Chapter 17.80 (Sign Regulations) of the Winters Municipal Code, which includes the following entitlements: 1. Find the project Categorically Exempt from CEQA Section 15301, Existing Facilities. 2. Recommendation to the City Council to approve an ordinance amending Chapter 17.80 of the Municipal Code.

Dowswell provided an overview of the item and noted key changes. Chairman Biasi opened the Public Hearing at 6:59pm. Hearing no comments Biasi closed the Public Hearing at 7:00pm. Baker asked about the definition of “changing luminosity”. Dowswell clarified that it would mean a change in lighting intensity from dim, to bright, to brightest. Biasi asked about the enforcement of A-frame signs. Dowswell responded that it is done on a complaint basis, and it really depends on how serious and how much time the City wants to spend on A-frame sign enforcement. Biasi added that as proposed the ordinance would allow the height of a freeway pole sign to be a maximum of 40ft, with further review required by the Planning Commission up to 65ft.

MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD MAY 24, 2016

Commissioner Baker moved and Riley seconded to recommend approval of various amendments to Chapter 17.80 (Sign Regulations) of the Winters Municipal Code, which includes the following entitlements: 1. Find the project Categorically Exempt from CEQA Section 15301, Existing Facilities. 2. Recommendation to the City Council to approve an ordinance amending Chapter 17.80 of the Municipal Code.

AYES: Commissioners Adams, Baker, Myer, Neal, Riley, and Chair Biasi

NOES: None

ABSTAIN: None

ABSENT: Frazier

Motion carried unanimously with Frazier absent.

- D. Public Hearing and Public Hearing and consideration of Site Plan/Design Review for a proposed Welding Lab Building to be located on the existing Gas Operations Technical Training Center (GOTTC) site currently under construction. The Weld Lab will be used to train and certify apprentice and journeyman welders. The Weld Lab will operate per the final EIR for the PG&E GOTTC, 7am-7pm seven days per week with normal operations occurring Monday-Friday 7am-5pm. The building totals 19,408 square feet including classroom and lab space. The building will be located along the eastern side of the site due south of the approved Transmission and Distribution (T&D) Building. The building is a pre-engineered metal building with a sloped pitch roof with roofing and siding with metal panels. The color, texture, and architecture are a continuation of the aesthetic established by the previously entitled T&D Building.

Dowswell provided an overview of the staff report and building details. Tom Crowley, of PGE, provided further detail on the project. Chairman Biasi opened the Public Hearing at 7:08pm. Hearing no comments, Biasi closed the Public Hearing at 7:09pm. Riley asked if the use of the building would occur during the same times as the others 7-7 M-F. Crowley responded that the building would operate in the same fashion as the other approved buildings. Biasi asked about any increase in students. Crowley responded that this building would be relocating the welding training from the San Ramon facility and would bring a minor increase in students, but within the original scope of the project.

Commissioner Neal moved and Adams seconded to approve Site Plan/Design Review for a proposed Welding Lab Building to be located on the existing Gas Operations Technical Training Center (GOTTC) site currently under construction. The Weld Lab will be used to train and certify apprentice and journeyman welders. The Weld Lab will operate per the final EIR for the PG&E GOTTC, 7am-7pm seven days per week with normal operations occurring Monday-Friday 7am-5pm. The building totals 19,408 square feet including classroom and lab space. The building will be located along the eastern side of the site due south of the approved Transmission and Distribution (T&D) Building. The building is a pre-engineered metal building with a sloped pitch roof with roofing and siding with metal panels. The color, texture, and architecture are a continuation of the aesthetic established by the previously entitled T&D Building.

AYES: Commissioners Adams, Baker, Myer, Neal, Riley, and Chair Biasi

NOES: None

ABSTAIN: None

**MINUTES OF THE CITY OF WINTERS PLANNING COMMISSION MEETING HELD MAY
24, 2016**

ABSENT: Frazier

Motion carried unanimously with Frazier absent.

COMMISSIONER/STAFF COMMENTS: Myer reported attendance at the bridge dedication. Biasi reported attending the Design Review Committee, Parking Committee, and meetings regarding the City Park project.

ADJOURNMENT: Chairman Biasi adjourned the meeting at 7:18pm

ATTEST: _____

Jenna Moser, Management Analyst

Bill Biasi, Chairman



PLANNING COMMISSION STAFF REPORT

TO: Chairman and Members of the Planning Commission

FROM: Jenna Moser, Associate Planner 
Dave Dowsell, Contract Planner 

HEARING: June 28, 2016

SUBJECT: **Starbucks/Chevron/Fairfield Inn & Suites Tentative Parcel Map, Site Plan/Design Review/Sign Permit, Conditional Use Permit, and Rezone (Planned Development Overlay)**

SUMMARY OF PROJECT

The application is for a proposed Starbucks coffee shop with drive-through, new Chevron convenience store market and car wash, and a Fairfield Inn & Suites Hotel. Required approvals:

- Tentative Parcel Map (dividing two existing parcels into four new parcels)
- Approval of Site Plan/Design Review/Sign Permit
- Conditional Use Permits to allow Chevron to expand alcohol sales and allow a Hotel in a Highway Service Commercial Zone
- Rezone (Planned Development Overlay) Parcel C to increase the height maximum from 30 to 46'6" feet for the Hotel.
- CEQA

PLANNING COMMISSION ACTION

The staff recommends that the Planning Commission approve the project by taking the following actions, subject to the attached conditions of approval:

- Find the project consistent with the I-505/Grant Avenue Planning Area Land Use Modifications Project and the Mitigated Negative Declaration adopted for this project on April 25, 2012
- Approve the Tentative Parcel Map, Site Plan/Design Review/Sign Permit, Conditional Use Permits

- Recommend City Council approval of the Rezone (Planned Development Overlay)

LOCATION

Southeast corner of Matsumoto Lane and State Route 128 (Grant Avenue) in Winters California, 95694. APN: 038-050-057, 038-050-060 totaling 6.761 acres. See Attachment 1, Vicinity Map.

BACKGROUND

In 2012 the City processed a General Plan Amendment and Rezoning entitled the I-505/Grant Avenue Planning Area Land Use Modifications Project. This project was approved July 17, 2012 by the City Council and involved the modification of various land use designations, zoning designations, modification of the citywide storm drainage master plan, and rescission of an older master plan affecting approximately 140 acres (including the subject properties) north and south of Grant Avenue west of the freeway. This prior analysis was relied upon in the creation of this report and environmental findings.

An initial application for this project was received November 24, 2015 and found to be incomplete. A Design Review Committee meeting was held on May 12, 2016 to review the proposed project. Comments from committee members were assembled by staff and circulated to the applicant. Based on Design Review comments, an amended application was submitted on May 27, 2016 and plans re-circulated to staff on May 31, 2016. Staff determined the application was complete on May 31, 2016.

DETAILED PROJECT DESCRIPTION

The application is for Tentative Parcel Map, Site Plan/Design Review/Sign Permit, Conditional Use Permits, and Rezone (Planned Development Overlay) to demolish the existing convenience store market and construct a new 2,597 square foot Chevron convenience store market and car wash, a 2,200 square foot Starbucks coffee shop with drive-through, and 72-room, 41,770 square foot Fairfield Inn & Suites Hotel. The Tentative Parcel Map will divide 2 existing parcels totaling 6.761 acres into 4 Parcels A, B, C and D. Design elements include cohesive exterior building materials, dense landscaping, and improvements to Grant Avenue and Matsumoto Lane. The Conditional Use Permits would allow Chevron to expand their alcohol (beer and wine) sales and allow a hotel in a Highway Service Commercial (C-H) Zone. The Sign Permit would allow a 60 foot high, five panel, 320 square foot freeway information sign. The Rezone (Planned Development Overlay) would permit the height of the hotel to be increased from 30 to 46 feet 6 inches. The Planning Commission will take final action on Tentative Parcel Map, Site Plan/Design Review/Sign Permit, and Conditional Use Permits unless appealed to the City Council. The Planning Commission will make a recommendation to the City Council regarding the Rezone (Planned Development Overlay).

LAND USE ANALYSIS

The land use designation for the properties is Highway Service Commercial (HSC). The HSC land use designation is described as follows in the General Plan:

Highway Service Commercial (HSC) Land Use

This designation provides for restaurants, service stations, hotels and motels, and retail and amusement uses, which are oriented principally to highway and through traffic, public and quasi-public uses, and similar and compatible uses. The FAR (Floor Area Ratio) shall not exceed 0.40.

The proposed uses are consistent with the highway service commercial land use designation.

The zoning for the properties is Highway Service Commercial (C-H). The C-H zone designation is described as follows in the Zoning Code:

Section 17.44.090 Highway Service Commercial (C-H) Zone

A. Purpose. The purpose of the Highway Service Commercial (C-H) Zone is to provide for commercial services and transient residential uses which are appropriate to highway locations and dependent upon highway travel. Principal permitted uses include minor automobile repair, restaurants including drive-throughs, service station, and minor utility services.

Section 17.56.010A Lot Development Standards, Generally (Table 3A)

Maximum Structure Height in C-H Zone is 30 feet.

Section 17.48.010 Panned Development Overlay Zone

A. Purpose. In order to achieve the general plan goal "to promote the development of a cohesive and aesthetically pleasing urban structure for Winters," the P-D overlay zone has been included within the scope of the zoning ordinance to allow for maximum flexibility consistent with the minimum development standards within each underlying zone category.

The proposed uses are consistent with the highway commercial service zoning designation.

TENTATIVE PARCEL MAP

The Tentative Parcel Map will divide 2 existing parcels totaling 6.761 acres into 4 Parcels A, B, C and D. Resulting parcels meet City Standards for Lot Development and the lot lines are predicated on the proposed site plan and layout.

CONDITIONAL USE PERMITS

Section 17.20.010 Use Permits

- A. *Purpose. The purpose of a use permit is to allow the proper integration into the community of uses which may be suitable only in specific locations in a zone or only if the uses are designed or arranged on the site in a particular matter.*

Hotel:

According to the Section 17.52.020 Table 2 -- Land Use/Zone Matrix Hotels/Motels on property in zoned C-H require a Use Permit.

The proposed hotel will be located in an area of the City that is somewhat isolated and is surrounded by highway commercial uses or zoned property to the east and west, industrial property to the north and south. Users of the hotel will enter the site off Matsumoto Lane. The traffic impact of this use on surrounding properties and the rest of the community will be minimal.

In discussion with the owner/operator of the Hotel he indicated that only the lobby/front entrance will be open 24 hours a day. All other access points will be restricted to guests with room keys. Pool hours will be from 6 am to 10 pm. Again, only guests will have access to the pool. The banquet/conference room will be made available to anyone wishing to rent the facility for wedding receptions, birthday parties or New Year's Eve. The hours it will be available at night will not be past 1 am.

Staff has included a condition reflecting the restrictions and hours of use mentioned above. Staff does not expect the hotel to have any negative impacts on the surrounding uses.

Alcohol Sales Convenience Market:

Section 17.96.010 Use permit required.

- A. *On or after the effective date of this ordinance (1997) codified in this title, a use permit must be obtained from the city for all on- and off-sale liquor establishments, with the exception of veterans clubs, listed fraternal organizations, and restaurants as defined in Chapter 17.08. Existing on-sale and off-sale establishments not exempt from the provisions of this title must obtain a use permit before substantially changing their mode or character of operation or requesting a new, more permissive liquor license.*

Due to the expansion of the convenience market/amount of shelf space devoted to alcohol sales, the applicant is being required to get a new use permit. Currently the existing convenience market sells beer and wine. In the future they may apply to also sell hard liquor, which would require amending their use permit. The Police Chief and the

Alcoholic Beverage Control office were asked if the present facility has had any problems with selling to minors, both indicated there have not been.

PLANNED DEVELOPMENT OVERLAY ZONE

Adding a Planned Development (P-D) Overlay Zone to the Parcel C is needed to allow the maximum height of the proposed hotel to be increased from 30 feet to the proposed 46 feet 6 inches. In order to add a P-D overlay zone to an existing zone per Section 17.48.040 of the Zoning Code the minimum site area for a commercial lot needs to be one (1) acre. Parcel C is 2.48 acres. Adding a P-D overlay allowing the height of the hotel to be increased avoids having to increase the building footprint thereby covering more of the lot and preserves more land for landscaping, which reduces the amount of the heat reflection, impervious surface and runoff.

Section 17.48.060 of the Zoning Code requires that six (6) specific findings be made in order to approve adding a P-D overlay zone to an existing parcel. The required findings are listed below:

- A. The development proposed on Parcel C of a Fairfield Inn (Hotel) is consistent with the general plan.
- B. The development of the proposed hotel except for the increase in height complies with all of the basic provisions in the Highway Service Commercial Zone. Allowing the deviation to the maximum height improves the project's overall design by reducing the amount of lot coverage, which allows for an increase in landscaping and a reduction in impervious surface and water runoff.
- C. The proposed development is desirable to the public comfort and convenience because it will provide hotel rooms which will be available for visitors to Winters to stay.
- D. The requested development, which includes increasing the allowable height of the hotel, will not adversely impact the character of the neighborhood nor will it be detrimental to the public health safety or general welfare.
- E. There are adequate utilities, access roads, sanitation and other need facilities and services available for this development.
- F. The development will create a positive fiscal impact on the city to provide the necessary services through the payment of transit occupancy tax by guests staying at the facility.

Staff recommends the Planning Commission recommend that the City Council approve adding the P-D overlay zoning to Parcel C for the reasons stated above.

DESIGN REVIEW

The Grant Avenue Design Guidelines were adopted August 16, 2011 and apply to the subject property. The Guidelines provide guidance to development activity in the Grant Avenue Business and Commercial District. They contain both mandatory and advisory components and were used by staff to conduct the May 12, 2016 Design Review. The

following analysis prepared by staff documents project consistency with the Guidelines using the Project Review Checklist in Attachment 3 and architectural renderings and plans in Attachment 4.

Site Planning:

- A1-The buildings are sited in a manner which avoids the appearance of a mass of parking by placing the building frontage facing Grant Avenue and Matsumoto Lane. The site includes on-site detention with dense landscaping and trees along the frontages to soften and enhance the site.
- A2- The pedestrian amenities include a defined path of travel for accessibility and flow between the buildings. Frontage improvements will be completed per the Complete Streets Plan, providing sidewalks, bike lanes, and appropriate safeguards for bikes, pedestrians, and vehicles.
- A3- The project includes a patio with seating at Starbucks.
- A4- The project includes landscaped on site detention ponds which will aid in overall recharge.
- A5- Transit facilities are planned for the south side of Grant Avenue (bus stop) as part of the PGE GOTTC project.
- A6- See A2

Architecture:

- B1-B4- A cohesive architectural plan has been developed incorporating the same and complimentary building materials, colors, and treatments in each building's design. The buildings are primarily in earth tones on stucco with siding and stone wainscot accent walls. Buildings include articulation, awnings, and architectural treatments to enhance aesthetics.
- B5- Buildings bring quality design elements on all sides. Blank or unaccented walls are to be screened with landscaping including trees and shrubs as well as trellises. The Starbucks will have a large blank wall on the east elevation facing the street that will be highly visible. Staff has suggested softening the wall with either a large metal sculpture of a valley oak tree, or mural depicting the City's agricultural heritage. The applicant is requesting conceptual approval of the super-graphic/mural with final review and approval reserved for staff.

The plans for Chevron include expanding the pump islands and canopy by increasing the number of pumps from 4 to 6 and extending the fueling canopy. Staff recommended to the project architect that the columns for the fueling canopy, existing and proposed, be wrapped in the same ledgestone proposed as a wainscot for the new convenience store market. The architect indicated there is not any room between the existing columns and pumps to allow for wrapping. It is possible when the pump island is expanded the existing pumps may need to be moved or replaced. If they are moved or replaced staff has conditioned the project so that the existing and new columns be wrapped in ledgestone.

The plans show the location of three freestanding trash enclosures. No design has been

submitted. Staff recommends the enclosures be finished to match the exterior finish of the corresponding building. Staff further recommends the doors be constructed of steel and a bollard be placed directly in front of each door hinge to avoid be damaged by the garbage trucks. Each enclosure should include a roof to avoid contaminants in the dumpsters from leaching into the storm water. The project has been conditioned to comply with the above.

Parking:

Pursuant to Table 6 of Section 17.72.020 of the Zoning Code, the parking requirement is calculated as follows:

- Retail Sales, General (Chevron) – One space for every 250 square feet.
- Take-out restaurant (Chevron) – One space for every 3 seats.
- Drive-through restaurant (Starbucks) -- One space required for every 3 seats.
- Queue space (Starbucks) – Minimum of 5 vehicles. The applicant proposes queue space for 9 vehicles.
- Hotel, Motel (Fairfield Inn) – One space per guest room.
- Disabled (entire site) – 5 accessible spaces (including 1 van space) are required.
- Bicycle – One space for each ten (10) automobile parking spaces are required.

The project proposes parking as follows:

Starbucks will have a total of 77 seats, 56 inside and 21 outside. The applicant is proposing 21 spaces (1 ADA van space, 5 compact spaces, and 15 standard spaces), which does not comply with Section 17.72.020. The Zoning Ordinance permits parking balancing over the entire project site. The Inn has 5 spaces more than required and the Chevron has 2 spaces more than required, making the overall parking numbers compliant.

Chevron Market and Gas Station will have 2,597 square feet of retail (10.38 for the market) and a 1,000 square foot take out restaurant with 8 indoor and 8 outdoor seats (5.33 for take-out restaurant). The applicant is proposing 18 spaces (1 ADA Van space, 3 compact spaces, and 14 standard spaces), which complies with the Section 17.72.020.

Fairfield Inn & Suites will have 72 rooms. The applicant is proposing 77 spaces (6 ADA, which includes 4 van spaces, and 66 standard spaces. An additional 5 parallel spaces for boat/RVs will be provided along the western most driveway), which complies with Section 17.72.020.

Bicycle – At least 11 bicycle spaces/racks are required. The applicant proposes 11 spaces.

Section 17.72.050 Design standards for parking spaces and lots.

B. Minimum Dimensions.

1. Full sized spaces shall be nine (9) feet wide by nineteen (19) feet long.
2. Compact spaces shall be not less than eight (8) feet six (6) inches wide by sixteen (16) feet long.
5. Maneuvering aisles shall be the width in feet as shown below.

<u>Type</u>	<u>One Direction</u>	<u>Two Direction</u>
90 degree	25	25

On the site plan the length of the parking spaces are either 17 feet for compact spaces or 18 feet for regular spaces. Assuming a two foot overhang, the length should be 16 feet for compact spaces and 17 feet for regular spaces. Landscaped areas or sidewalks area widths should be increased by one foot accordingly. The project is conditioned so that plans submitted for plan checking should show the correct length for compact and regular spaces.

Access, Circulation and Traffic

Two driveways are proposed off Matsumoto Lane: One that would facilitate access to Starbucks and Chevron, and a second that would provide access to the Hotel. Three driveways are proposed off Grant Avenue, two are the existing driveways that provide access to Chevron. The third driveway is designed to allow motorists heading eastbound to access all three uses by turning left across Grant Avenue as well as provide future joint access to the parcel to the west.

Applicable City Standards address driveway separation along arterials and require a minimum separation of 150 feet. Staff is concerned with the potential for conflicts given the close proximity of the driveways. A condition has been added requiring the applicant to address this issue to the satisfaction of the City Engineer.

Curb, gutter, and sidewalk to City standards adhering to the Grant Avenue Design Guidelines will be constructed along the project frontage of Matsumoto Lane and Grant Avenue. There is a short section of sidewalk on Grant Avenue directly south of the fueling canopy that will remain monolithic (not separated) in order to accommodate the existing fueling canopy (not proposed to be moved), however the remainder of the proposed sidewalk will be of separated sidewalk adhering to the Complete Streets plan. The conditions of approval include these requirements.

The Winters I-505/Grant Avenue Planning Area Traffic Analysis (March 2012) analyzed the trip generation for projected build-out in an identified 140 acre area of which the subject site is a part. The Traffic Analysis assumed a drive-through restaurant, service station with four pumps, and 50-room hotel on the subject site. The proposed hotel is 72 rooms, an increase of 22 rooms. The proposed gas station will have six pumps, an increase of two pumps. On May 25, 2016 the City's Traffic Consultant (Bob Grandy with Fehr & Peers) was consulted about the potential traffic impacts of increasing the room count to 72 and the number of pumps to six. Mr. Grandy advised that the increase in rooms, number of pumps and change in the type of fast food restaurant (coffee instead of

food) will not cause a significant enough increase in trip generation requiring additional study at this time. Mr. Grandy also pointed out that the March 2012 traffic analysis assumed only three uses for the 6.7 acre site. At such time as a fourth use is proposed for Parcel D an additional traffic analysis will be required.

If required by Caltrans, the applicant shall pay for the services of the City's Traffic Engineer to confirm that no additional traffic improvements identified in the 2012 Winters I-505/Grant Avenue Planning Area Traffic Analysis are triggered by the project.

Connectivity:

- C1- The project is an integral component of the Grant Avenue Complete Streets Program which has included the widening of Grant Avenue and the installation of sidewalks along Grant Avenue and Matsumoto Lane.
- C2- The project provides for pedestrian connectivity between the other facilities on the site and is compliant with federal requirements for disability access (Americans with Disabilities Act, ADA). Landscaping along Matsumoto Lane and Grant Avenue provides separation between traffic and parking areas.
- C3- The parking areas and paths of travel meet both circulation and ADA path of travel requirements. Outdoor seating is provided (Starbucks & Chevron Market) in the site plan.
- C4- City requirements for bicycle parking are met.
- C5-C6- Adequate landscaping buffers are provided and entrances and signage are well marked.

Landscaping:

- D1-D2- Landscaping is compliant with State and local regulations. The prominent intersection of Grant Avenue and Matsumoto Lane is densely landscaped. The City's shading requirement (50 percent) is met with the shade trees provided.

Public Works has conditioned the project to select an alternative plant to Nasella Ten (Mexican Feathergrass) due to its invasive nature.

Signage:

E1- The Grant Avenue Design Guidelines require all wall signs be individual internally illuminated channel letters. Backlit or halo-lit cut-out signage is encouraged. The preliminary design of the wall signs appears to comply with the Guidelines, however, no details have been provided. Section 17.80.040 of the City Code permits one wall sign per building frontage and the maximum wall sign area may not exceed 100 square feet. The City Code does not define "building frontage". Prior to issuing any building permits for the project, it has been conditioned that the applicant will submit detailed drawings showing the style and square footage of each wall sign to verify it complies with the Guidelines and does not exceed the maximum allowable square footage.

Section 17.80.030 Signs permitted in all districts.

- R. Freeway Information Signs. Multi-business signs advertising freeway oriented business near a freeway interchange may be approved subject to obtaining a sign permit from the planning commission and subject to the following requirements:
1. No more than one such sign shall be allowed on the north side of State Route 128.
 2. The sign shall contain space for identification of at least four businesses or centers directly served by the off-ramp.
 3. No individual sign shall exceed twenty-five (25) square feet.
 4. Freeway information signs may not exceed a height of sixty-five (65) feet, with sign heights up to one hundred (100) feet being possible if supported by detailed line-of-sight studies, as determined by the planning commission.
 5. No business identified on a multi-business sign may have an on-site free-standing sign exceeding eight feet in height.

The existing Chevron sign, which is legal-non-conforming, is being replaced/relocated to the northerly portion of Parcel D as the new multi-business sign.

- E1- The design of the proposed freeway information sign does not comply with the Grant Avenue Design Guidelines because it does not tie in architecturally or use any of the materials proposed on the new buildings. Often, these types of signs are designed where the tenant signs are placed inside two columns finished with a veneer or veneers, which matches the veneers used on the new buildings and topped or capped with the name of the center or the name of the city where they are located. The city of Davis has an attractive freeway information sign which is visible from I-80 near the Olive Drive exit. The city of Vacaville also has a similar design which advertises the Brendan Theaters, McDonalds, Chevron and Hampton Inns near the Davis Street off-ramp as shown in Attachment 5.

Internally illuminated plastic box “canned” signs are prohibited by the Guidelines. The proposed sign is comprised of five internally illuminated cabinet or canned signs. Consistent with the Guidelines the faces of the individual cabinets should be opaque so they do not show light at night. By making the backgrounds opaque the signs will appear to have individual letters. The “future tenant” panels should also be opaque. The Davis and Vacaville signs have completely opaque faces. The panels of the Vacaville sign match the color of the columns.

The applicant is requesting approval for a 60 foot high sign, which matches the height of the existing Burger King/Arco/Taco Bell sign. The (5) tenant signs, as designed, will each exceed 25 square feet. The proposed square footage for all five signs is 320 square feet. The maximum allowable square footage for the five tenant signs is 125 square feet. If the tenant panels were made opaque, by matching the texture and color of the columns, the visible sign area for each tenant panel would probably be less than 25 square feet. The applicant will need to show that the area for each tenant

sign will be less than 25 square feet or apply for a variance. When the Burger King/Arco/Taco Bell sign was approved they obtained a variance to increase the allowable sign area for each sign to 100 square feet. A condition has been included requiring the area for each sign be reduced to less than 25 square feet or the applicant needs to apply for a variance. The applicant is requesting conceptual approval of the sign, with final approval and review reserved for staff.

Lighting:

- F1-F2- Lighting on signage is internal. Wall sconce lighting is complementary to the building and other site lighting will reduce night sky intrusion. Parking lot lighting will include an appropriate hood to maximize security and reduce night sky issues.

Energy:

- The project is mandated to comply with the California "Green" Building Code for energy efficiency. Fixtures, mechanical equipment, and water all must meet the State requirements.

Infrastructure

The site will be served adequately by all required services. Sewer is available via an 8-inch sewer main in Matsumoto Lane. Water is available via a 10-inch water main in Matsumoto Lane. Localized drainage is proposed to be handled via on-site ponds. A condition has been added requiring the applicant install broadband conduit to city standard.

Drainage

The site lies within both a federal flood hazard zone and the City General Plan Flood Overlay Zone (FOZ). With respect to the federal designation, development is allowed provided the Applicant satisfies the federal construction requirements for elevation above the 100-year flood elevation. With respect to the local FOZ, non-residential development is allowed provided the Applicant's proposed improvements are consistent with and further the purposes of the City's Storm Drainage Master Plan, and provided the City's funding plan is in-place and that the Applicant pays the appropriate fees prior to construction. The project has been conditioned to be consistent with these requirements.

Utilities:

Currently there are above ground utilities fronting Matsumoto Lane and Grant Avenue and also bisecting the site. There are also two wells on the site. The Preliminary Site Plan shows the utility poles along Matsumoto Lane being removed and undergrounded and the two wells being abandoned. The applicant will need to get the appropriate approvals from PG&E, AT&T and any other utility that has lines on the utility poles before

removing them. The applicant will also need to contact County Health to obtain the necessary approvals before abandoning the wells.

CEQA CLEARANCE

In 2012 the City Council approved a General Plan Amendment and Rezoning for the I-505/Grant Avenue Planning Area Land Use Modifications Project, which included a traffic analysis. Included with the approval was adoption of a Mitigated Negative Declaration.

RECOMMENDED FINDINGS FOR THE CHEVRON/STARBUCKS/FAIRFIELD INN – SITE PLAN/DESIGN REVIEW/SIGN PERMIT

CEQA Findings:

1. In 2012 the City Council approved a General Plan Amendment and Rezoning for the I-505/Grant Avenue Planning Area Land Use Modifications Project, which included a traffic analysis. Included with the approval was adoption of a Mitigated Negative Declaration.

Design Review Findings:

- 1) The proposed project's overall visible massing, which includes height, roofline profiles and overall scale of the building meets the intent of the Grant Avenue Design Guidelines.
- 2) The proposed project's use of quality of exterior construction materials is compatible with the general setting of the subject property and visual character of the general neighborhood.
- 3) The proposed project avoids the use of large, blank or unbroken wall planes and architectural detailing such as shadow lines, etc. which generally lack interest.
- 4) The proposed project provides effective use of screening of ground – and – roof mounted equipment.
- 5) The proposed project provides effective use of landscaping decorative site paving, etc which provides effective visual screening or softening of the development.
- 6) The proposed project achieves conformity with the Grant Avenue Design Guidelines.

RECOMMENDED FINDINGS FOR THE CHEVRON/STARBUCKS/FAIRFIELD INN-PARCEL MAP

Parcel Map Findings

CEQA Findings:

1. In 2012 the City Council approved a General Plan Amendment and Rezoning for the I-505/Grant Avenue Planning Area Land Use Modifications Project, which included a traffic analysis. Included with the approval was adoption of a Mitigated Negative Declaration.

General Plan and Zoning Consistency Findings:

1. The project is consistent with the goals and policies of the General Plan. The General Plan designates the project site as CH and this designation provides for this use.
2. The project is consistent with the provisions of the Zoning Ordinance. The property is zoned CH and this designation provides for this use.

RECOMMENDED FINDINGS FOR THE CHEVRON/FAIRFIELD INN- CONDITIONAL USE PERMIT

Conditional Use Permit Findings:

1. In 2012 the City Council approved a General Plan Amendment and Rezoning for the I-505/Grant Avenue Planning Area Land Use Modifications Project, which included a traffic analysis. Included with the approval was adoption of a Mitigated Negative Declaration.

RECOMMENDED FINDINGS FOR THE FAIRFIELD INN- PD OVERLAY

PD Overlay Findings:

The required findings are listed below:

- A. The development proposed on Parcel C of a Fairfield Inn (Hotel) is consistent with the general plan.
- B. The development of the proposed hotel except for the increase in height complies with all of the basic provisions in the Highway Service Commercial Zone. Allowing the deviation to the maximum height improves the project's overall design by reducing the amount of lot coverage, which allows for an increase in landscaping and a reduction in impervious surface and water runoff.
- C. The proposed development is desirable to the public comfort and convenience because it will provide hotel rooms which will be available for visitors to Winters to stay.
- D. The requested development, which includes increasing the allowable height of the hotel, will not adversely impact the character of the neighborhood nor will it be detrimental to the public health safety or general welfare.
- E. There are adequate utilities, access roads, sanitation and other need facilities and services available for this development.

- F. The development will create a positive fiscal impact on the city to provide the necessary services through the payment of transit occupancy tax by guests staying at the facility.

RECOMMENDATION: Staff recommends approval of the Site Plan/Design Review/Sign Permit, Parcel Map, and Conditional Use Permit and recommends to the City Council approval of the PD Overlay by making an affirmative motion as follows:

I MOVE THAT THE CITY OF WINTERS PLANNING COMMISSION APPROVE DESIGN REVIEW/SITE PLAN, PARCEL MAP, CONDITIONAL USE PERMIT AND SIGN PERMIT AND RECOMMENDS APPROVAL TO THE CITY COUNCIL OF THE PD OVERLAY FOR THE CONSTRUCTION OF THE CHEVRON/STARBUCKS/FAIRFIELD INN BASED ON THE IDENTIFIED FINDINGS OF FACT AND BY TAKING THE FOLLOWING ACTIONS:

- Find the project consistent with the I-505/Grant Avenue Planning Area Land Use Modifications Project and the Mitigated Negative Declaration adopted for this project on April 25, 2012
- Approve the Tentative Parcel Map, Site Plan/Design Review/Sign Permit, Conditional Use Permits
- Recommend City Council approval of the Rezone (Planned Development Overlay)

ATTACHMENTS

1. Vicinity Map
2. Design Review Checklist
3. Architectural Exhibits including conceptual super-graphic
4. Conditions of Approval
5. Conceptual Sign
6. Public Hearing Notice

Vicinity



 Project Site



Grant Avenue Design Guidelines Consistency Checklist

Background

The Grant Avenue Design Guidelines were adopted on August 16, 2011 for the purpose of meeting our community expectations and developing project consistency for the Grant Avenue Business and Commercial District and assisting applicants in the planning process. The attached checklist was completed by staff as part of the application review process to substantiate consistency with the guidelines.

Checklist Process

The attached checklist was completed by staff while working through final project design with the applicant. For each item on the checklist information has been provided about how guideline has been met or is not applicable.



Grant Avenue Design Guidelines Consistency Checklist

Item	Yes	No	N/A	Yes - consistent; N/A - not applicable; No - Not consistent; each response in the comment section. Thank you.	DRC Use Only
Section A - Site Planning					
A1	X			The proposed buildings are sited in a manner that considers the surrounding environment.	Site includes on site detention with appropriate landscaping, native trees and plants.
Comments:					
A2	X			The development includes limited conflicts between pedestrians, bicyclists, vehicles and utility/delivery vehicles.	Frontage improvements will be per the Complete Streets plan, providing sidewalks, bike lanes and appropriate safeguards for bikes, peds and vehicles.
Comments:					
A3	X			Public, open or gathering spaces are included, where appropriate.	Starbucks has a patio.
Comments:					
A4	X			Low impact design features, such as biodetention facility, rain gardens, and permeable pavements are included in the proposed development.	Project includes two onsite detention ponds which will aid in overall recharge.
Comments:					
A5	X			Consideration for transit facilities is included in the proposed development.	Project will have multiple areas of circulation. Hotel will have a canopied drop off area for shuttles.
Comments:					
A6	X			On-site planning encourages connectivity to off-site bicycle and pedestrian pathways.	See A2



Grant Avenue Design Guidelines Consistency Checklist

Item	Yes	No	N/A	Yes - consistent; No - Not consistent; N/A - not applicable. Please explain each response in the comment section. Thank you.	DRC Use Only
Comments:					



Grant Avenue Design Guidelines Consistency Checklist

Section B – Architecture			
B1	X	Design of proposed buildings reflect Winters and its surroundings (compatible materials, colors, quality, coordinated but not the same as properties in Winters, avoid strong or vivid colors unless they fit within local context, concrete block/exposed concrete on visible walls finished in aesthetic manner).	Use of colors and stone match guidelines. Overall high quality building materials and corrugated siding and hardy board.
Comments:			
B2	X	Buildings and design features are scaled to human proportion.	
Comments:			
B3	X	Buildings exhibit variety and distinctiveness (but avoid overly obtrusive or overly monotonous designs, or strong contrast with adjacent buildings, creative use of natural or recycled materials).	Hotel includes extensive articulation, multiple colors and window treatments.
Comments:			
B4	X	Variety of architectural features encouraged tied to comprehensive design theme (arches, raised parapets, cornices, eaves, windows, balconies, entry insets, roof angles and pitches, wall relief features).	Each building in the project is distinctive yet tied together with a variety of similar colors and stone.
Comments:			



Grant Avenue Design Guidelines Consistency Checklist

B5	X	Site and buildings are visually attractive from neighboring properties, traffic and corridors, and public spaces (service areas and devices screened, integrated and compatible with site features; above criteria is applied to areas visible to public view; rear and side views are visually interesting, coordinated, and well-maintained).	Buildings bring quality design elements on all sides. Car was blank wall is blocked by building making it less and issue.
Comments:			
Section C – Connectivity			
C1		The proposed development connects with:	
	X	*Grant Avenue Complete Streets Concept Plan	
	X	*Class I and II Bicycle Lanes	
	X	*Pedestrian/bicycle facilities within the project and with bordering facilities.	
	X	*Putah Creek Park Master Plan and Trail System	Project is within proximity and will have street design elements connecting to trail system.
Comments:			
C2	X	Pedestrian elements are attractive and functional (walkways link parking to building entrances and other walkways; planters, street furniture, outdoor seating, pedestrian oriented signs, low level lighting provided).	Buildings and parking are all interwoven with walkways and pedestrian features.
Comments:			



Grant Avenue Design Guidelines Consistency Checklist

C3	X		Parking areas include a defined sidewalk or marked pedestrian facilities in landscaped areas or separated from traffic lanes required.		
Comments:					
C4	X		The project provides connections for walkers and bicyclists to the surrounding community (provides walking/biking facilities on the site, connects to walking/biking facilities in town, provides shortcuts for walkers/bikers).		
Comments:					
C5	X		Sidewalks provide convenient and safe access (sidewalks sufficiently wide, without obstruction; curbs, shade, lighting provided; buffers between walkers and traffic provided; safe and direct street crossings for walkers).		
Comments:					
C6	X		Entrances provide convenient access (entrances adjacent to street, minimal setback, routes are well marked, sidewalks provide uninterrupted access to entrances, safe bike parking is located next to entrances).		Hotel entrance is on Matsumoto Lane and away from Grant Ave frontage. There is a formal canopied entrance into the hotel.
Comments:					
Section D – Landscaping					



Grant Avenue Design Guidelines Consistency Checklist

D1	X		The proposed landscaping complies with the State's Model Water Efficient Landscape Ordinance and the California Green Building Standards Code (CalGreen).		
Comments:					
D2	X		Scale and nature of landscape materials is appropriate to site and structure (Plants are of type, spacing, and sizing to reach maturity within reasonable time. Hardy, drought tolerant, low maintenance species adapted to Winters climate are emphasized, parking lot trees also withstand heat, pollutants).		
Comments:					
Section E – Signs					
E1	X		Signs are compatible with architectural character of buildings (signage does not dominate site, uses compatible colors and material, lighting is restrained and harmonious)		Exiting pylon sign will be moved to the northerly portion of the property.
Comments:					
Section F – Lighting					
F1	X		Lighting harmonizes with site, building design, architecture, and landscaping (lighting form, function, character, fixture styles, design and placement; lighting does not interfere with pedestrian movement).		
Comments:					

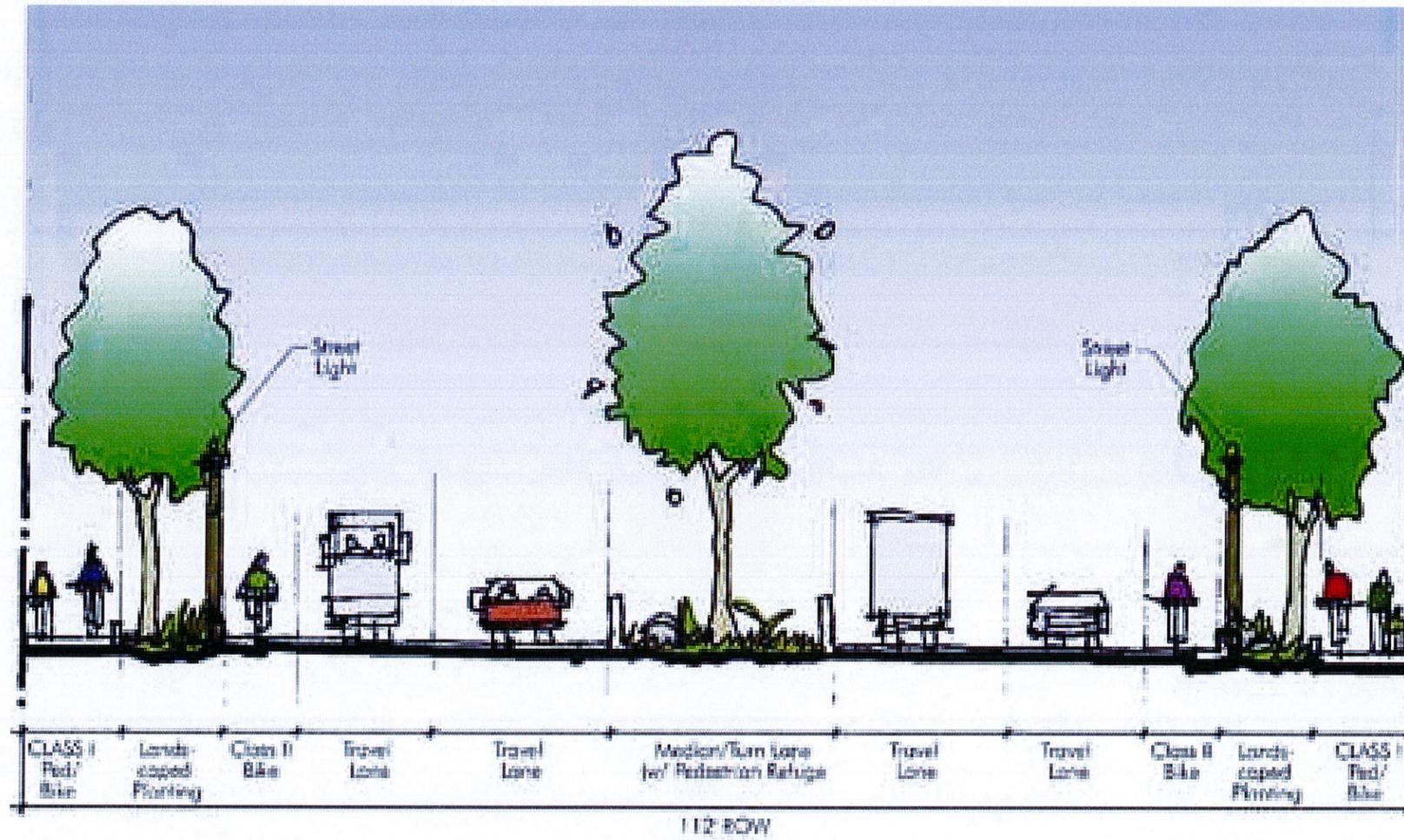
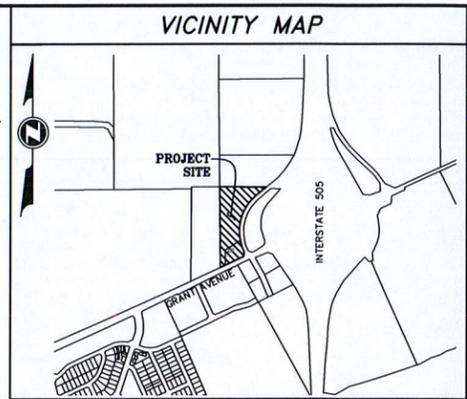
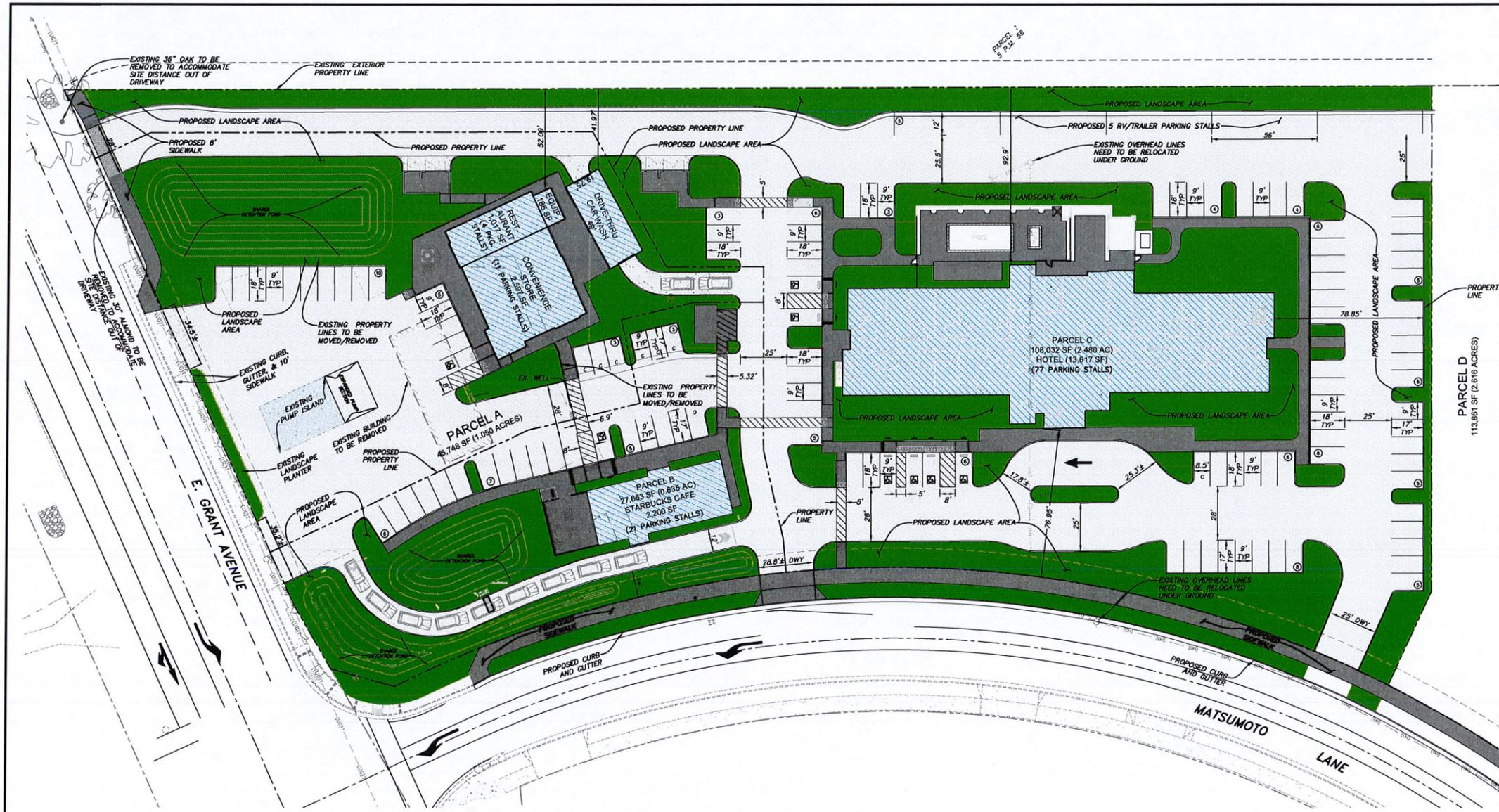


FIGURE 5-2: CROSS SECTION OF COMPLETE STREET CONCEPT B (EAST MAIN STREET—I-505 INTERCHANGE)



OFF-STREET PARKING										
REQUIRED PARKING SPACES	ROOMS OR SEATS	SPACES REQUIRED	SPACES PROVIDED	COMPACT SPACES ALLOWED	COMPACT SPACES PROVIDED	ADA SPACES REQUIRED	ADA SPACES PROVIDED	VAN ACCESSIBLE SPACES REQUIRED	VAN ACCESSIBLE SPACES PROVIDED	BIKE PARKING PROVIDED
HOTEL, 1 space/1 guest room	72	72	77 AUTO + 5 TRAILER/RV	30	1	4	6	1	2	8
RESTAURANT, 1 space/3 seats	63	21	21	8	5	1	1	1	1	3
SERVICE STATION, 3 SPACES CONVENINCE STORE, 11 SPACES RESTURANT, 4 SPACES	N/A	18	18	7	3	1	1	1	1	2

Per City of Winters Zoning Code, Chapter 17.72 OFF-STREET PARKING AND LOADING.



DESIGNED BY	BPB			
DRAWN BY	JB			
CHECKED BY	BPB			
REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602

BY: **BRYAN P. BONINO**
 P.E. 41804

DATE: _____

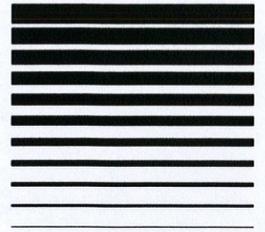


PRELIMINARY SITE PLAN FOR
HOSPITALITY MANAGEMENT, INC.
 CITY OF WINTERS, CALIFORNIA

COLOR EXHIBIT

SCALE	SHEET
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JOB NO. 3498-10	

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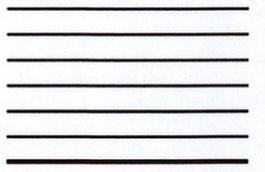
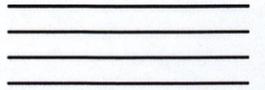
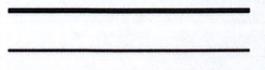
Garth Ruffner
Landscape Architect
(916) 797-2578
4120 Douglas Blvd. #306-301, Roseville, California 95746
GarthRuffner.com CA Landscape Architect #2808

Project:

**WINTERS
STARBUCKS,
CHEVRON &
HOTEL**
NORTHWEST CORNER
E. GRANT AVE. & MATSUMOTO LN.
CITY OF WINTERS
CALIFORNIA

Sheet Title:

**PRELIMINARY
LANDSCAPE
PLAN**

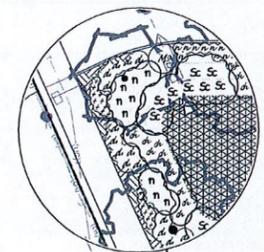
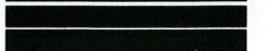


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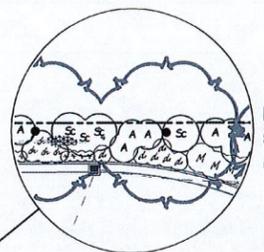
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Job Number: 36037

Sheet Number: **LAI** of 3



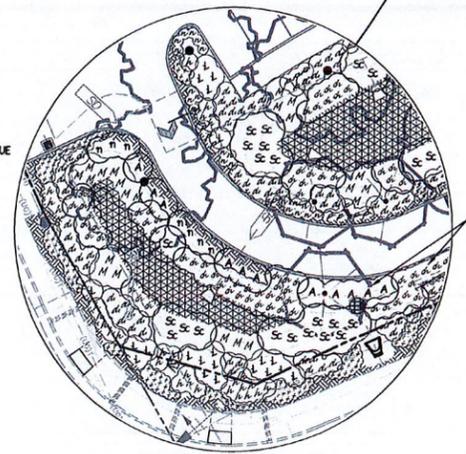
**WEST FRONTAGE
PLANTING CONCEPT**
SCALE: 1"=20'-0"



**WEST PERIMETER
PLANTING CONCEPT**
SCALE: 1"=20'-0"

PLANT LIST & LEGEND
SYMBOL BOTANIC NAME/COMMON NAME

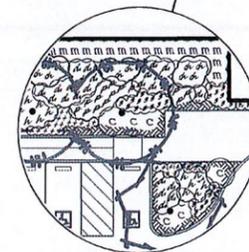
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 -  CHILOPSIS LINEARIS 'TIMELESS BEAUTY'/DESERT WILLOW
 -  GEIJERA PARVIFLORA/AUSTRALIAN WILLOW
 -  PARKINSONIA X. 'DESERT MUSEUM'/PALO VERDE
 -  PINUS ELDARICA/AFGHAN PINE
 -  PISTACIA CHINENSIS/CHINESE PISTACHE
 -  QUERCUS LOBATA/VALLEY OAK
 -  QUERCUS WISLIZENI/INTERIOR LIVE OAK
- SHRUBS & GROUNDCOVER AREA:**
- ARH A ARCTOSTAPHYLOS D. 'HOWARD McMINN'/MANZANITA
 - BUL B BULBINE FRUTESCENS 'HALLMARK ORANGE'/CAPE BALSAM
 - CAD C CAREX DIVISA/EURASIAN GRAY SEDGE
 - CHE C CHONDROPETALUM ELEPHANTINUM/CAPE RUSH
 - CTL C COTONEASTER D. 'LOWFAST'/PROSTRATE COTONEASTER
 - DIE D DIETES X. 'NOLA ALBA'/FORTNIGHT LILY
 - DLC D DELOSPERMA COOPER/ICE PLANT
 - HLO H HELLEBORUS ARGUTTILILIUS 'SILVER LACE'/CORSIKAN HELLEBORE
 - HSP H HESPERALOE PARVIFLORA/RED YUCCA
 - LVG L LAVANDULA X. 'GOODWIN CREEK GRAY'/DWF. LAVENDER
 - MHR M MAHONIA REPENS/CREeping OREGON GRAPE
 - MUH M MUHLENBERGIA RIGENS/DEER GRASS
 - NER N NERIUM O. 'DWARF RED'/PETTIE RED OLEANDER
 - NST N NASSELLA TENASSIM/MEXICAN FEATHER GRASS
 - PNH P PENSTEMON HETEROPHYLLUS 'MARGARITA B.O.P. '/BEARD TONGUE
 - ROC R ROSA CALIFORNICA/WILD ROSE
 - TCC T TEUCRIUM CHAMAEDRYS/DWARF GERMANDER
 - TLV T TULBAGHIA VIOLACEA/SOCIETY GARLIC
-  SODDED TURF AREA



**"CITY GATEWAY"
PLANTING CONCEPT**
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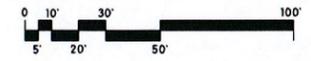


**EAST FRONTAGE
PLANTING CONCEPT**
SCALE: 1"=20'-0"



**EAST HOTEL ELEVATION
PLANTING CONCEPT**
SCALE: 1"=20'-0"

15 GALLON SCREEN SHRUBS ALONG
OUTSIDE EDGE OF DRIVE-THROUGH
(TYPICAL)



PROPOSED TREES



CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA REDBUD - 15 GALLON



CHILOPSIS LINEARIS 'TIMELESS BEAUTY' / DESERT WILLOW 15 GALLON



GELEERA PARVIFLORA / AUSTRALIAN WILLOW 15 GALLON



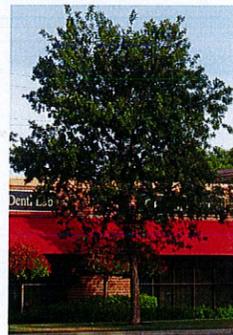
PARKINSONIA X 'DESERT MUSEUM' / PALO VERDE - 15 GALLON



PINUS ELDARICA / AFGHAN PINE 15 GALLON



PISTACIA CHINENSIS / CHINESE PISTACHE 15 GALLON



QUERCUS LOBATA / VALLEY OAK 15 GALLON



QUERCUS WISLIZENII / INTERIOR LIVE OAK 15 GALLON

PROPOSED SHRUBS, PERENNIALS & GROUNDCOVERS



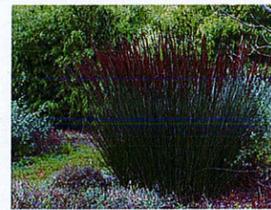
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MANNING' / MANZANITA 15 GALLON @ DRIVE-THROUGH & 5 GALLON ELSEWHERE



BULBINE FRUTESCENS TINY TANGERINE / CAPE BALSM 1 GALLON



CAREX DIUISA / EURASIAN GRAY SEDGE FLATS @ 15" ON CENTER



CHONDROPETALUM ELEPHANTINUM / GIANT CAPE RUSH 15 GALLON @ DRIVE-THROUGH & 5 GALLON ELSEWHERE



COTONEASTER DAMERI 'LOWFAST' / COTONEASTER 1 GALLON



DIETES X 'NOLA ALBA' / HYBRID FORTNIGHT LILY 2 GALLON



DELOSPERMA COOPERI / HARDY ICE PLANT FLATS @ 15" ON CENTER



HELLEBORUS ARGUTIFOLIUS 'SILVER LACE' / CORSICAN HELLEBORE 1 GALLON



HESPERALOE PARVIFLORA 'BRAKE LIGHTS' / RED YUCCA 2 GALLON



LAVANDULA X 'GOODWIN CREEK' GRAY / DWF. LAVENDER 5 GALLON



MUHLENBERGIA RIGENS / DEER GRASS 5 GALLON



NASSELLA TENUISSIMA / MEXICAN FEATHER GRASS 1 GALLON



NERIUM OLEANDER 'LITTLE RED' / COMPACT RED OLEANDER 15 GALLON @ DRIVE-THROUGH & 5 GALLON ELSEWHERE



PENSTEMON HETEROPHYLLUS 'MARGARITA B.O.P.' / BEARD TONGUE 1 GALLON



ROSA CALIFORNICA / CALIFORNIA WILD ROSE 5 GALLON



TEUCRIMUM CHAMAEDRYS / DWARF GERMANDER 1 GALLON



TULBAGHIA VIOLACEA / SOCIETY GARLIC 1 GALLON

Garth Ruffner
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(916) 787-2576

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GarthRuffner.com CA Landscape Architect #2608

Project:

**WINTERS
STARBUCKS
CHEVRON &
HOTEL**

NORTHWEST CORNER
E. GRANT AVE. & MATSUMOTO LN.
CITY OF WINTERS
CALIFORNIA

Sheet Title:

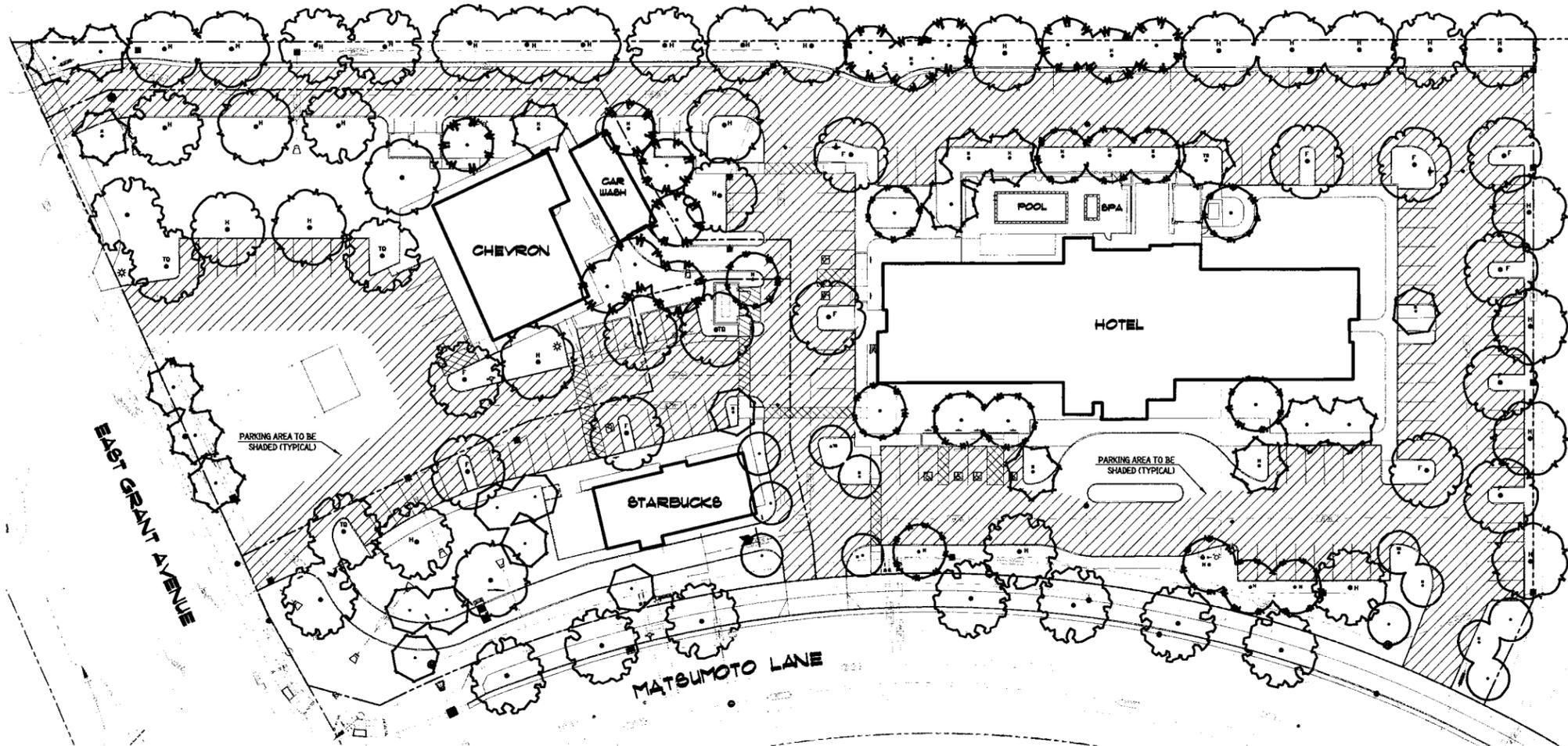
**PRELIMINARY
PLANT
PALETTE**

Date: MAY 25, 2016

Scale: N/A

Job Number: 36037

Sheet Number: **LA2** of 3



Garth Ruffner
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GarthRuffner.com CA Landscape Architect #2808

Project:
**WINTERS
STARBUCKS,
CHEVRON &
HOTEL**
NORTHWEST CORNER
E. GRANT AVE. & MATSUMOTO LN.
CITY OF WINTERS
CALIFORNIA

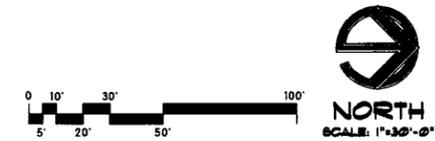
Sheet Title:
**PARKING LOT
SHADING
PLAN**

PLANT LIST & LEGEND
SYMBOL BOTANIC NAME/COMMON NAME

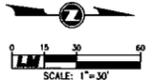
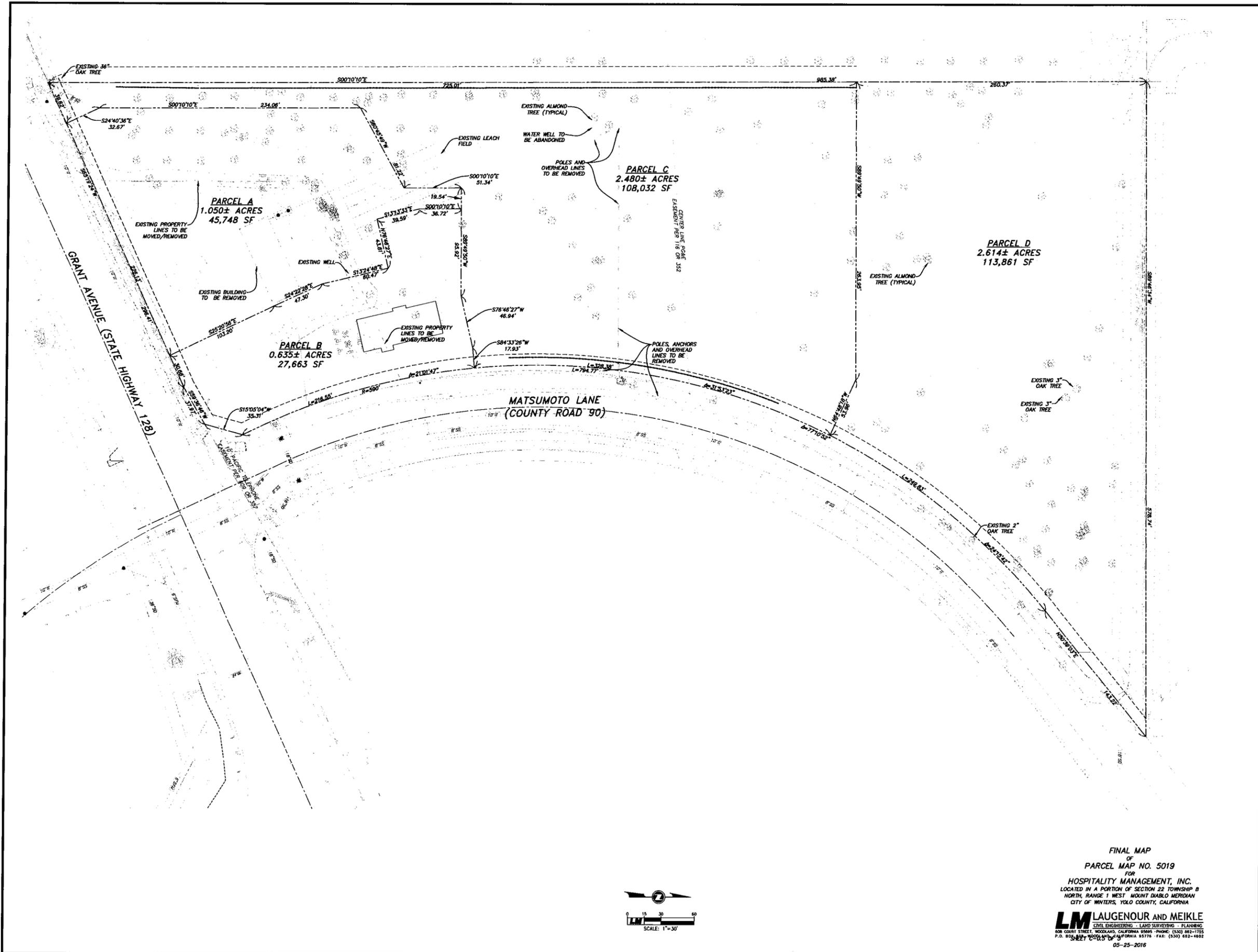
-  CERCIS RENIFORMIS 'OKLAHOMA'/REDBUD
-  CHILOPSIS LINEARIS 'TIMELESS BEAUTY'/DESERT WILLOW
-  GELERA PARVIFLORA/AUSTRALIAN WILLOW
-  PARKINSONIA X. 'DESERT MUSEUM'/PALO VERDE
-  PINUS ELARICA/AFGHAN PINE
-  PISTACHIA CHINENSIS/CHINESE PISTACHE
-  QUERCUS LOBATA/VALLEY OAK
-  QUERCUS WISLIZENII/INTERIOR LIVE OAK

**PARKING LOT
SHADE CALCULATIONS:**

TREE TYPE	AREA/ FULL	QUANTITY FULL 3/4 1/2 1/4	SUBTOTAL	TOTAL
20' DIA. TREES				
CERCIS RENIFORMIS	314 S.F.	0 2 4 0	1099 S.F.	
CHILOPSIS LINEARIS	314 S.F.	0 0 2 0	314 S.F.	
				20' TOTAL: 1413 S.F.
25' DIA. TREES				
GELERA PARVIFLORA	490 S.F.	0 0 8 0	1960 S.F.	
PARKINSONIA X.	490 S.F.	0 1 6 0	1838 S.F.	
PINUS ELARICA	490 S.F.	0 0 3 0	735 S.F.	
				25' TOTAL: 4533 S.F.
35' DIA. TREES				
PISTACHIA CHINENSIS	962 S.F.	12 1 2 0	13228 S.F.	
QUERCUS LOBATA	962 S.F.	1 3 9 0	7456 S.F.	
QUERCUS WISLIZENII	962 S.F.	0 0 20 0	9620 S.F.	
				35' TOTAL: 30303 S.F.
				PARKING AREA: 12987 S.F.
				SHADE REQUIRED: 50% 35483 S.F.
				SHADE PROVIDED: 51% 36248 S.F.



Date: MAY 25, 2016
Scale: 1"=30'-0"
Job Number: 36037
Sheet Number: **LA3** of 3



FINAL MAP
OF
PARCEL MAP NO. 5019
FOR
HOSPITALITY MANAGEMENT, INC.
LOCATED IN A PORTION OF SECTION 22 TOWNSHIP 8
NORTH, RANGE 1 WEST MOUNT DIABLO MERIDIAN
CITY OF WINTERS, YOLO COUNTY, CALIFORNIA

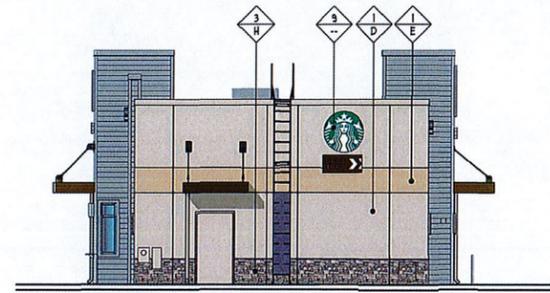
LM LAUGENOUR AND MEIKLE
CIVIL ENGINEERING - LAND SURVEYING - PLANNING
508 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 862-1755
P.O. BOX 1000, WOODLAND, CALIFORNIA 95776 - FAX: (530) 862-4602
05-25-2016

REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE CIVIL ENGINEERING - LAND SURVEYING - PLANNING 508 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 862-1755 P.O. BOX 1000, WOODLAND, CALIFORNIA 95776 - FAX: (530) 862-4602 BY: BRYAN P. BROWN P.E. 11824 DATE 05-25-2016 P.E. 11824	PROFESSIONAL ENGINEER'S SEAL BRYAN P. BROWN No. 11824 CIVIL EXPIRES 12/31/2018

JOB NO.	3498-10
DESIGNED	BPB
DRAWN	NRS
FILE	3498-10_P05
CHECKED	BPB
DATE	05-25-2016
SCALE	1"=30'
SHEET	C-0.5
OF	5

X:\Land Projects\3498-10\dwg\3498-10_P05.dwg



4 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

- 1 CEMENT PLASTER OVER EXTERIOR WALL CONSTRUCTION
- 2 HORIZONTAL WOOD SIDING OVER EXTERIOR WALL CONSTRUCTION
- 3 STONE VENEER OVER EXTERIOR WALL CONSTRUCTION
- 4 ALUMINUM STOREFRONT
- 5 STEEL FRAMED AWNING
- 6 GLAZING
- 7 STUCCO SCREED
- 8 METAL CAP FLASHING
- 9 BUILDING MOUNTED SIGNAGE (BY OTHERS)
- 10 CANVAS AWNING

MATERIAL FINISH

- A PAINT COLOR: BENJAMIN MOORE PF-2 "WHITE"
- B PAINT COLOR: BENJAMIN MOORE 205-30 "DEEP SPACE"
- C PAINT COLOR: BENJAMIN MOORE 205-30 "GRAY SMOKE"
- D PAINT COLOR: BENJAMIN MOORE HC-35 "FOWELL BUFF"
- E PAINT COLOR: BENJAMIN MOORE HC-34 "WILMINGTON TAN"
- F NOT USED
- G PAINT COLOR: BENJAMIN MOORE 2052-20 "SIENNA"
- H EL DORADO STONE, CLIFFSTONE "MONTECITO"
- I BRONZE
- J TBD.
- K STARBUCKS GREEN
- L CHEVRON BLUE
- M TO MATCH "SIENNA" PAINT COLOR
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NEW COMMERCIAL SHELL BUILDING
STARBUCKS
 EAST GRANT AVE. & MATSUMOTO LN.
 WINTERS, CA

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 225 W. First Street, Suite 204
 WINTERS, CA 95694
 PH: (530) 662-9146
 FAX: (530) 662-3428
 www.mccandlessarch.com

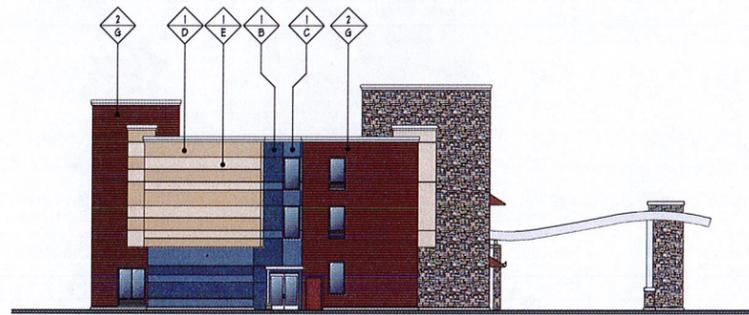
DESIGN REVIEW SET

DATE: 05-26-2016

SHEET:
DR3.0



McCANDLESS & ASSOCIATES ARCHITECTS, INC



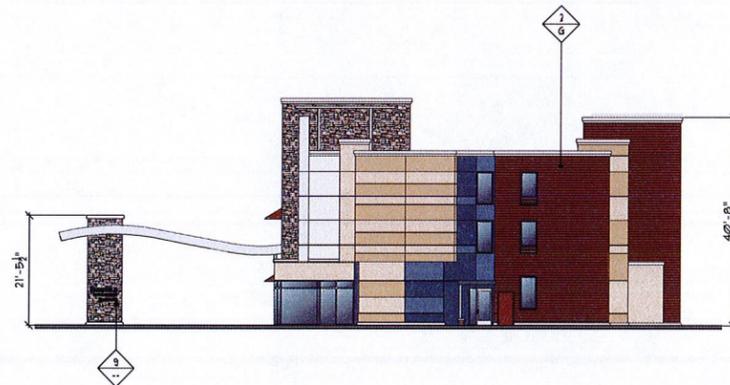
4 SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



3 WEST ELEVATION

SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION

SCALE: 1/16" = 1'-0"



1 EAST ELEVATION

SCALE: 1/16" = 1'-0"

MATERIAL SCHEDULE

1	CEMENT PLASTER OVER EXTERIOR WALL CONSTRUCTION
2	HORIZONTAL WOOD SIDING OVER EXTERIOR WALL CONSTRUCTION
3	STONE VENEER OVER EXTERIOR WALL CONSTRUCTION
4	ALUMINUM STOREFRONT
5	STEEL FRAMED AWNING
6	GLAZING
7	STUCCO SCREED
8	METAL CAP FLASHING
9	BUILDING MOUNTED SIGNAGE (BY OTHERS)
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MATERIAL FINISH

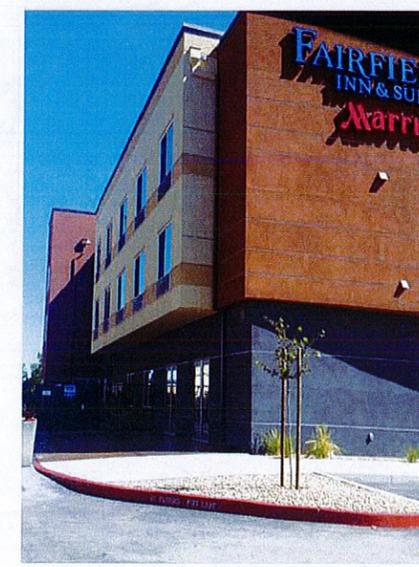
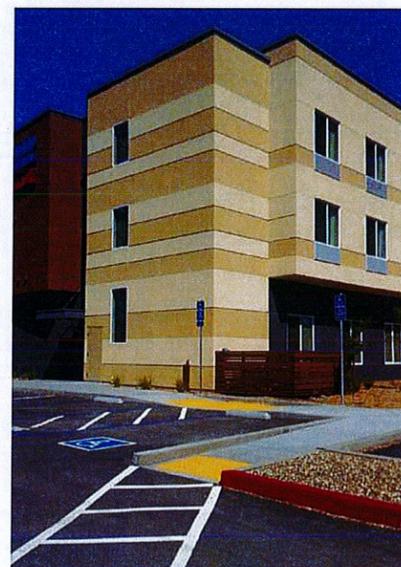
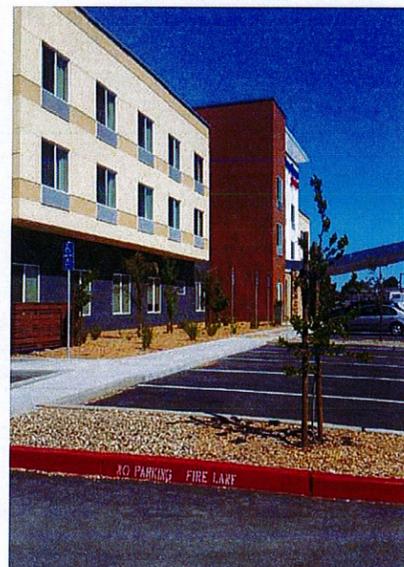
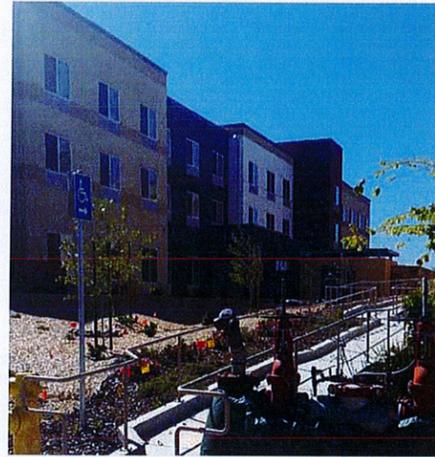
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B	PAINT COLOR: BENJAMIN MOORE 3125-20 'DEEP SPACE'
C	PAINT COLOR: BENJAMIN MOORE 3125-30 'GRAY SHAKER'
D	PAINT COLOR: BENJAMIN MOORE HC-35 'POLELL BUFF'
E	PAINT COLOR: BENJAMIN MOORE HC-34 'WILMINGTON TAN'
F	NOT USED
G	PAINT COLOR: BENJAMIN MOORE 2092-20 'BIENNA'
H	EL DORADO STONE, CLIFFSTONE 'MONTECITO'
I	BRONZE
J	TBD
K	STARBUCK'S GREEN
L	CHEVRON BLUE
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NEW CONSTRUCTION FOR
FAIRFIELD INN & SUITES
 MATSUMOTO LN.
 WINTERS, CA

DESIGN REVIEW SET

DATE: 05-26-2016

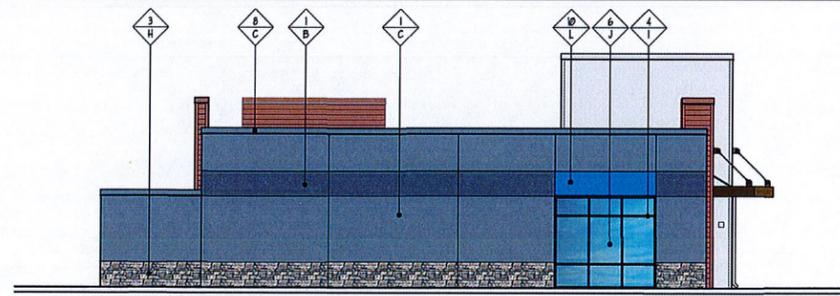
SHEET:
DR3.0



McCANDLESS & ASSOCIATES ARCHITECTS, INC.
428 1/2 FIRST STREET, SUITE 204 Δ WOODLAND, CA 95695

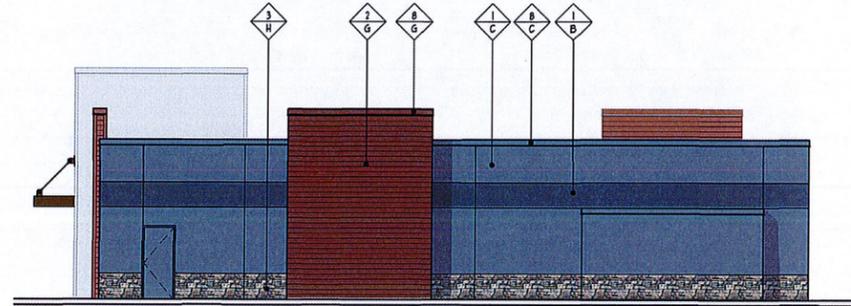
FAIRFIELD INN & SUITES
WINTERS, CA

APRIL 28, 2016



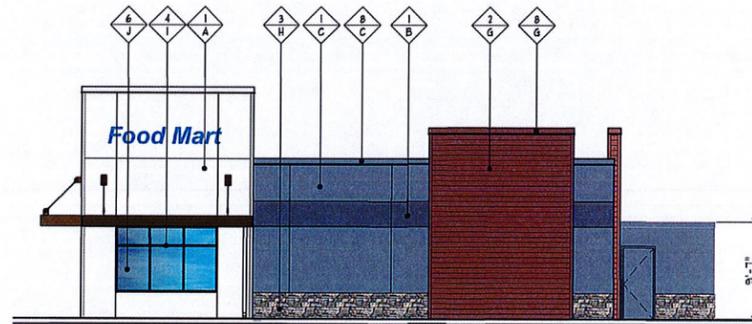
4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



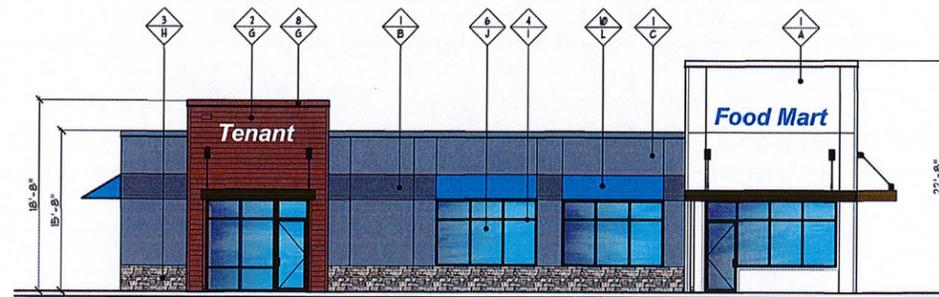
3 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 EAST ELEVATION

SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

1	CEMENT PLASTER OVER EXTERIOR WALL CONSTRUCTION
2	HORIZONTAL WOOD SIDING OVER EXTERIOR WALL CONSTRUCTION
3	STONE VENEER OVER EXTERIOR WALL CONSTRUCTION
4	ALUMINUM STOREFRONT
5	STEEL FRAMED AWNING
6	GLAZING
7	STUCCO SCREED
8	METAL CAP FLASHINGS
9	BUILDING MOUNTED SIGNAGE (BY OTHERS)
10	CANVAS AWNING
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MATERIAL FINISH

A	PANT COLOR: BENJAMIN MOORE FM-2 "WHITE"
B	PANT COLOR: BENJAMIN MOORE 215-20 "DEEP SPACE"
C	PANT COLOR: BENJAMIN MOORE 219-30 "GRAY SQUER"
D	PANT COLOR: BENJAMIN MOORE HC-35 "FOJELL BUFF"
E	PANT COLOR: BENJAMIN MOORE HC-34 "WILMINGTON TAN"
F	NOT USED
G	PANT COLOR: BENJAMIN MOORE 2092-20 "SIENNA"
H	EL DORADO STONE, CLIFFSTONE "MONTECITO"
I	BRONZE
J	T.B.D.
K	STARBUCKS GREEN
L	CHEVRON BLUE
M	TO MATCH "SIENNA" PANT COLOR
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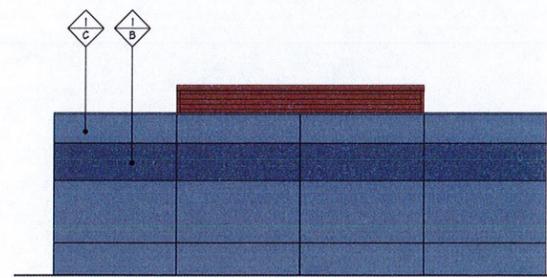
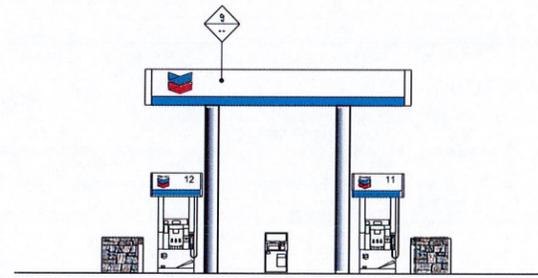
NEW COMMERCIAL SHELL BUILDING
CHEYRON
 999 EAST GRANT AVE.
 WINTERS, CA

McCANDLESS & ASSOCIATES ARCHITECTS, INC.
 10511 Hwy. 99, Suite 204
 Winters, CA 95986
 PH: (930) 662-9146
 FAX: (930) 662-3429
 www.mccandlessarch.com

DESIGN REVIEW SET

DATE: 05-26-2016

SHEET:
DR3.0



MATERIAL SCHEDULE

1	CEMENT PLASTER OVER EXTERIOR WALL CONSTRUCTION
2	HORIZONTAL WOOD SIDING OVER EXTERIOR WALL CONSTRUCTION
3	STONE VENEER OVER EXTERIOR WALL CONSTRUCTION
4	ALUMINUM STOREFRONT
5	STEEL FRAMED AWNING
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7	STUCCO SCREED
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MATERIAL FINISH

A	PAIN COLOR: BENJAMIN MOORE FM-7 'WHITE'
B	PAIN COLOR: BENJAMIN MOORE 3125-20 'DEEP SPACE'
C	PAIN COLOR: BENJAMIN MOORE 3125-30 'GRAY SMOULDER'
D	PAIN COLOR: BENJAMIN MOORE HC-35 'POLYELL BUFF'
E	PAIN COLOR: BENJAMIN MOORE HC-34 'WILMINGTON TAN'
F	NOT USED
G	PAIN COLOR: BENJAMIN MOORE 3092-20 'BIENNA'
H	EL DORADO STONE, CLIFFSTONE 'MONTECITO'
I	BRONZE
J	T.B.D.
K	STARBUCKS GREEN
L	CHEVRON BLUE
M	TO MATCH 'BIENNA' PAIN COLOR
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REVISIONS

NEW COMMERCIAL SHELL BUILDING
CHEVRON
 999 EAST GRANT AVE.
 WINTERS, CA

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 1051 E. First Street, Suite 204
 Woodland, CA 95694
 PH: (916) 662-9146
 FAX: (916) 662-3425
 www.mccandless.com



DESIGN REVIEW SET

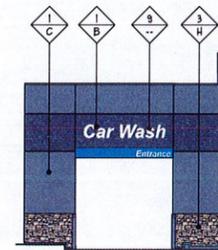
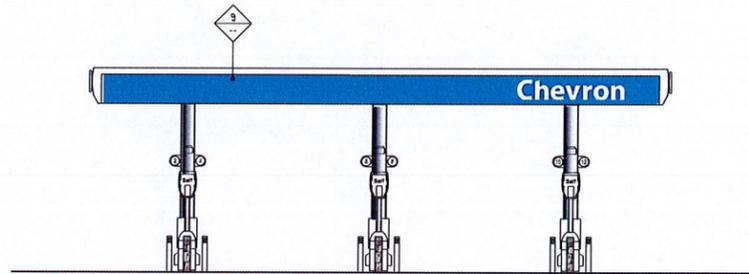
DRAWN	M + A
CHECKED	M + A
DATE	5-21-2016
SCALE	NOTED
JOB #	16-155
SHEET	DR3.1

8 GAS PUMPS SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

4 CAR WASH SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

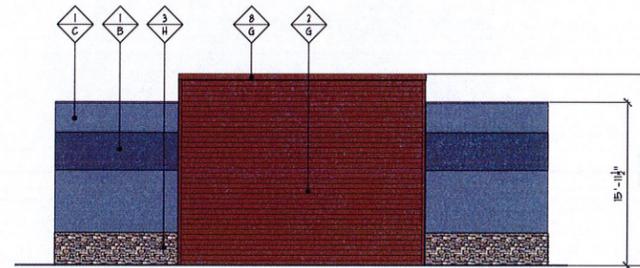
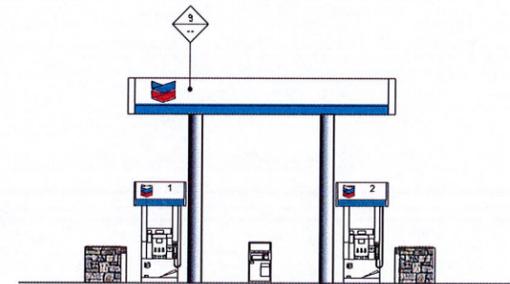


7 GAS PUMPS WEST ELEVATION

SCALE: 1/8" = 1'-0"

3 CAR WASH WEST ELEVATION

SCALE: 1/8" = 1'-0"

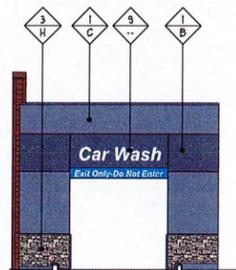
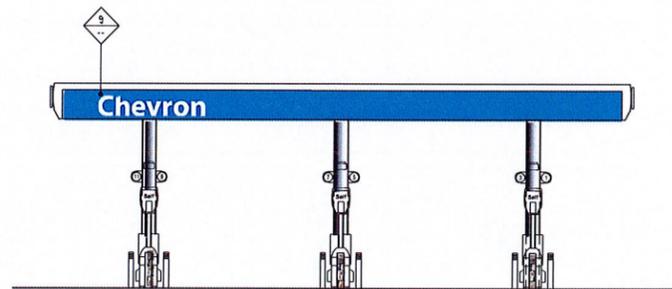


6 GAS PUMPS NORTH ELEVATION

SCALE: 1/8" = 1'-0"

2 CAR WASH NORTH ELEVATION

SCALE: 1/8" = 1'-0"



5 GAS PUMPS EAST ELEVATION

SCALE: 1/8" = 1'-0"

1 CAR WASH EAST ELEVATION

SCALE: 1/8" = 1'-0"

**Starbucks/Chevron/Fairfield Inn & Suites
Tentative Parcel Map, Design Review, Conditional Use Permit, and Rezone**

6/28/16 CONDITIONS OF APPROVAL

1. In the event any claim, action or proceeding is commenced naming the City or its agents, officers, and employees as defendant, respondent or cross defendant arising or alleged to arise from the City's approval of this project, the project applicant shall defend, indemnify, and hold harmless the City or its agents, officers, and employees, from liability, damages, penalties, costs, or expenses in any such claim, action, or proceeding to attach, set aside, void, or annul an approval of the City of Winters, the Winters Planning Commission, any advisory agency to the City and local district, or the Winters City Council. Project applicant shall defend such action at applicant's sole cost and expense, which include court costs and attorney fees. The City shall promptly notify the applicant of any such claim, action, or proceeding and shall cooperate fully in the defense. Nothing in this condition shall be construed to prohibit the City of Winters from participating in the defense of any claim, action, or proceeding, if City bears its own attorney fees and cost, and defends the action in good faith. Applicant shall not be required to pay or perform any settlement unless the applicant in good faith approves the settlement, and the settlement imposes not direct or indirect cost on the City of Winters, or its agents, officers, and employees, the Winters Planning Commission, any advisory agency to the City, local district, and the City Council.
2. The applicant shall submit a current title report to the City prior to approval of public improvement plans.
3. The City of Winters Plan Review Fee applies and is due upon submittal of plans for review.

COMMUNITY DEVELOPMENT

4. The project is as described in the June 28, 2016 Planning Commission staff report. The project shall be constructed in substantial compliance with the plans and exhibits included with the June 28 staff report, except as modified by these conditions of approval. Substantive modifications to the approved plans may require a new public hearing and Planning Commission approval.

Design Review

5. On the site plan the parking spaces are either 17 feet long for compact spaces or 18 feet long for regular spaces. Assuming a two foot overhang, the length should be 16 feet for compact spaces and 17 feet for regular spaces. Landscaped areas or sidewalks area widths should be increased by one foot accordingly. Plans submitted for plan checking shall show the correct length for compact and regular spaces.
6. The design of the mural shall be conceptually approved by the Planning Commission. The final design of the mural to be approved by the Community Development Department prior to issuance of a building permit.
7. The proposed plans for the Chevron expansion and remodel assume the existing pumps are not being moved, relocated or replaced. If the pumps are moved, relocated or

replaced during the expansion and remodel and there is adequate room the existing and new columns will be wrapped in ledgestone that matches the wainscot.

8. The proposed freeway information sign to be located on Parcel D shall be redesigned to comply with the recommended changes in the staff report dated June 28, 2016 as conceptually approved by the Planning Commission. Revised design to be approved by the Community Development Department prior to issuance of a building permit.
9. The individual sign panels for the proposed freeway information sign exceed 25 square feet. The applicant will need to either reduce the area for each individual sign to 25 square feet or less by making the background opaque, as recommended in the staff report dated June 28, 2016, or apply for a variance.
10. Pursuant to Winters Municipal Code Section 17.80.080, the applicant shall apply for a sign permit with the Community Development Department prior to installation of the on-site directional and informational signs. Building permits shall be obtained as necessary for installation.
11. Roof mounted mechanical equipment must shielded on all sides behind the proposed roof parapet and shall not be visible from the ground level. All ground equipment shall be fully screened by enclosures and/or landscaping.
12. All solid doors exiting a building shall be painted to match the color of the adjacent surface.
13. Trash enclosures for each facility shall be finished to match the façade of their corresponding main building. All trash enclosures doors shall be constructed of steel and protected with a bollard in front of each door hinge. All trash enclosures shall have as a minimum a corrugated metal roof. Plans to be provided for review and approval by the Community Development Department prior to issuance of a building permit.
14. Landscape material may not be located such that, at maturity it interferes with safe distances for vehicular, bicycle or pedestrian traffic; conflicts with overhead utility lines, overhead lights, or walkway light; or blocks pedestrian or bicycle ways.
15. The entire site shall be developed in compliance with the 1990 American Disabilities Act requirements for site access to and from the buildings from the public right of way, to the satisfaction of the Building Official.
16. The submitted final plans (all sheets) shall have an updated date and shall reflect all modifications necessary to reflect these conditions of approval.
17. Specifications for the exterior seating, tables and umbrellas for Starbucks shall be submitted to the City for prior approval by the Community Development Director.

Applicable Mitigation Measures from the I-505/Grant Avenue Planning Area Mitigation Monitoring Program:

18. **Mitigation Measure #1** -- Outdoor light fixtures shall be low-intensity, shielded and/or directed away from adjacent areas and the night sky. All light fixtures shall be installed and shielded in such a manner that no light rays are emitted from the fixture at angles above

the horizontal plane. High-intensity discharge lamps, such as mercury, metal halide and high-pressure sodium lamps shall be prohibited. Lighting plans shall be provided as part of facility improvement plans to the City with certification that adjacent areas will not be adversely affected and that offsite illumination will not exceed 2-foot candles.

Prior to issuance of a building permit, the applicant shall submit a photometric and proposed lighting plan for the project to the satisfaction of the Community Development Department to ensure no spillover light and glare onto adjoining properties.

19. **Mitigation Measure #2** -- Pursuant to General Plan Policy VI.E.11 implement the following:
Local hire preference – The businesses shall sign a written agreement to hire local residents to the greatest attainable extent, with annual reporting to the City.

Actively promote ridesharing –The businesses shall undertake programs to encourage carpooling and participate in other programs to encourage carpooling within and between employees of new businesses.

Use Permit -- Hotel

20. The lobby/front entrance shall be open 24 hours a day. Pool hours will be from 6 am to 10 pm. The banquet/conference room will be made available to anyone wishing to rent the facility for wedding receptions, birthday parties or New Year's Eve, etc.. Room shall not be available past 1 am.

Use Permit – Chevron Expanded Alcohol (Beer and Wine) Sales

21. The use permit allows only the expansion of the current beer and wine sales. Applicant will need to apply to amend the use permit should he wish to sell hard liquor.

ENGINEERING AND PUBLIC WORKS

General

22. An alternative plant to Nasella Ten (Mexican Feathergrass) shall be selected for review and approval by Public Works prior to issuance of a building permit.
23. All street and other required public improvements shall be constructed concurrently, in a single phase operation. The City will allow deferment of the frontage improvements along Parcel D, until Parcel D moves forward with development of the site.
24. A Soils/Geotechnical Report shall be prepared by a qualified engineer to confirm onsite soil capabilities and geological conditions and make recommendations to be followed for development. Grading of the site, design of foundations for proposed structures and construction of other related facilities on the property shall follow the criteria identified in the report. The applicant shall submit the report with the initial improvement plans package. The improvement plans shall be approved and signed by the soils engineer prior to approval by the City.
25. Landscaping and irrigation plans shall be prepared by a registered landscape architect, and included as part of the improvement plans and/or site plans

26. All public landscape areas shall include water laterals with meters and PG&E power service points for automatic controllers. The landscape water meter shall be installed to the satisfaction of the City Engineers.
27. Street lighting location plan shall be submitted and approved by the City Engineer prior to approval of improvement plans.
28. Occupancy shall not occur until on-site and off-site improvements have been accepted by the City Council and the City has approved as-built drawings. Applicants, and/or owners shall be responsible to so inform prospective buyers, lessees, or renters of this condition.
29. If relocation of existing infrastructure is deemed necessary, the applicant shall perform the relocation, at the applicant's expense unless otherwise provided for through a reimbursement agreement. All public utility standards for public easements shall apply.
30. Project proponents shall enter into the Citywide Landscape and Lighting Maintenance District, in order to maintain and provide for the future needs of street lighting and landscaping, and other related aspects of development. The project proponent is responsible for all costs associated with this condition. The project proponent shall fulfill this condition prior to issuance of a certificate of occupancy.
31. Applicant shall provide refuse enclosure detail showing bin locations and recycling facilities to the approval of the Public Works Department and the Community Development Department. (See also Condition No. 13.)
32. Prepare improvement plans for any work within the public right-of-way and submit them to the City Engineer for review and approval. The improvement plan sheets shall include the title block as outlined in the City of Winters Public Improvements Standards and Construction Standards. This submittal is separate from the building permit submittal. The Applicant shall provide, to the City Engineer, two sets of the improvement plans and electronic media (AutoCAD .DWG or DXF on Zip Disk or Compact Disk), for approval of plans by the City Engineer. Final Record Drawings shall be provided on Mylar and electronic media.
33. Conform to County Health regulations and requirements for the abandonment of any septic tanks and water wells.
34. Existing public and private facilities damaged during the course of construction shall be repaired by the Applicant at his/her sole expense, to the satisfaction of the City Engineer.
35. All utility poles that are to be relocated in conjunction with this project shall be identified on the improvement plans, with existing and proposed locations indicated.
36. If improvements are constructed and/or installed by a party or parties other than the Applicant, which improvements benefit Applicant's property, prior to issuance of a building permit on Applicants property, Applicant shall pay a proportionate share of the costs of said improvements, including interest, prior to the issuance of building permit(s) to Applicant. Applicant shall pay fair share costs for the benefiting use of the existing sewer collection system, pump station, and water system existing on the Jordan and McClish

properties, and traffic signal improvements, that were advance funded and constructed by City.

37. All conditions identified herein shall be fully satisfied prior to occupancy, unless otherwise stated.
38. The project is as described in the June 28, 2016 Planning Commission staff report, except as modified by these conditions of approval. Substantive modifications require new analysis, verification of CEQA compliance, public hearing, and Council /Commission action.
39. The project shall operate within all applicable requirements of the City Code at all times
40. Pursuant to General Plan Policy II.C.1 and VI.F.2, energy efficient design shall be used. Energy efficient design shall include but not limited to automated control system for heating and air conditioning system and energy efficiency beyond Title 24 requirements, lighting controls and energy efficient lighting in buildings, and increased insulation beyond Title 24 requirements.
41. Pursuant to General Plan Policies V.F.1 and V.F.2, if cultural resources (historic, archeological, paleontological, and/or human remains) are encountered during construction, workers shall not alter the materials or their context until an appropriately trained cultural resource consultant has evaluated the situation. Project personnel shall not collect cultural resources. Prehistoric resources include chert or obsidian flakes, projectile points, mortars, pestles, dark friable soil containing shell and bone dietary debris, heat-affected rock, or human burials. Historic resources include stone or adobe foundations or walls, structures and remains with square nails, and refuse deposits often in old wells and privies.
42. Pursuant to General Plan Policy VIII.D.7 and Winters Municipal Code Section 17.72.050(F), parking lot pole lights shall be a maximum of 16 feet in height (including base pedestal) with full cutoff box fixtures. In addition, lighting under the gas canopies shall be fully recessed metal halide fixtures so there is no light spillage or glare. Wall pack lighting shall be fully shielded and directed downward. On-site parking lot lighting shall match lighting already installed on southern portion of the site. A photometric study shall be performed to determine optimal locations for lighting pursuant to the city code and safety requirements.
43. Proposed improvements, including but not limited to, grading, streets, utilities, and landscape have not been reviewed in detail and are not approved at this time. The City Engineer shall review the improvement plans for conformance with applicable codes, standards, and these Conditions of Approval. The Applicant shall revise and resubmit the improvement plans based upon comments provided by the City Engineer.
44. Joint trench/utility/composite plans shall be submitted to the City Engineer for review, prior to approval of improvement plans.
45. All perimeter parcels and open space shall be protected against surface runoff from project, in a manner acceptable to the City Engineer.

46. Decorative LED lights shall be installed along the frontage of East Grant Avenue between the Class 1 path and the street, with the approval of the City and/or Caltrans. Street lights along Matsumoto shall match cobra-heads installed with the Arco/Burger King/Taco Bell projects.
47. Applicant shall be responsible to comply with all permitting requirements from federal, state, or other local agencies.
48. Applicant shall contact the City Engineer prior to beginning construction for a pre-construction meeting.
49. Applicant shall develop and implement a construction traffic management plan to the satisfaction of the City of Winters Department of Public Works. The plan shall be submitted to the City of Winters Public Works Department and Caltrans for review prior to initiation of site disturbance.
50. If build-out of the different facilities on the different parcels will be phased, then an on-site infrastructure and circulation phasing plan shall be submitted for approval by the City, prior to approval of the Final Parcel Map.
51. The project shall install broadband conduit as part of public improvement to the satisfaction of the city engineer.

Traffic

52. Applicant shall construct public roadway frontage improvements along Matsumoto Lane, and Grant Avenue fronting the property, to include curb, gutter, and separated sidewalk per the City of Winters Public Improvements Standards and Construction Standards. If the existing location of the gas pumps does not change, the City will consider a monolithic sidewalk along Grant Avenue fronting the pumps. The City will allow deferment of the frontage improvements along Parcel D, until Parcel D moves forward with development of the site.
53. A preliminary site plan showing ingress/egress for Matsumoto and Grant Ave has been submitted but not approved by the City. The Applicant shall work with the City Engineer and Caltrans to develop appropriate ingress/egress for Matsumoto and Grant Avenue, to avoid potential conflicts and provide safe circulation. A joint access agreement shall be provided in a form suitable to the City Attorney providing access to the driveway at the western edge of the project site for future access by the Manas parcel to the west.
54. If required by Caltrans, the Applicant shall pay for the services of the City's Traffic Engineer to confirm that no additional traffic improvements identified in the 2012 Winters I-505/Grant Avenue Planning Area Traffic Analysis are triggered by the project.
55. Prior to submitting an application to develop Parcel D the property owner will need to have a traffic engineer analyze the potential impacts of the use or uses proposed on Parcel D in relation to the assumptions made for the uses on the entire 6.7 acre site in the March 2012 Winters I-505/Grant Avenue Planning Area Traffic Analysis.
56. Landscaped slopes along streets shall not exceed 5:1; exceptions shall require approval of the City Engineer. Level areas having a minimum width of two (2) feet shall be required at the toe and top of said slopes.

57. Pursuant to General Plan Policy III.A.1 Matsumoto Lane frontage shall be dedicated and improved consistent with the General Plan Circulation Element, to the satisfaction of the City Engineer.
58. An encroachment permit from Caltrans is required for all work performed in the State right-of-way along East Grant Avenue (Hwy. 128) and I-505. All submittals, coordination, and cost associated with the improvements and permitting are the Applicant's responsibility.
59. Improvements to the East Grant Avenue frontage of the project shall be dimensionally consistent with the cross-section approved in the Complete Streets Concept Plan (Figure 5-2). Additional through lanes, curb and gutter, and raised medians are at the discretion of Caltrans.
60. All driveways extending from the property onto the Public right-of-way shall be constructed in accordance with the City's Public Works Improvement Standards and Construction Specifications.
61. A signage and striping plan for the public roadways is required and shall be approved by the City Engineer. All striping shall be thermoplastic.
62. On Matsumoto frontage; provide variable depth grind and overlay from existing centerline to new gutter edge, for consistent cross-slope.
63. Add "No Parking" signs along Matsumoto Lane frontage of project, unless approved otherwise from the City.

Drainage

64. A drainage plan shall be prepared by a registered civil engineer for project watershed(s), including the plan area. The plan shall identify specific storm drainage design features to control increased runoff from the project site. The drainage plan shall demonstrate the effectiveness of the proposed storm drainage system to prevent negative impacts to SR 128, Matsumoto Lane, and existing downstream facilities and to prevent additional flooding at off-site downstream locations. All necessary calculations and assumptions and design details shall be submitted to the City Engineer for review and approval. The design features proposed by the applicant shall be consistent with the most recent version of the City's Storm Drainage Master Plan criteria, Yolo County City/County Drainage Manual (dated February 2010, and City's Public Improvement Standards. The plan shall incorporate secondary flood routing analysis and shall include final sizing and location of on-site and off-site storm conduit channels, structures and detention and retention basins. The Storm Drainage Plan shall be submitted for approval prior to submittal of the construction drawings for checking. The applicant shall pay the cost associated with all improvements required by the plan.
65. A topographic survey of the entire site and a comprehensive grading and drainage plan prepared by a registered civil engineer, shall be required for the development. The plan shall include topographic information on adjacent parcels. In addition to grading information, the grading plan shall indicate all existing trees, and trees to be removed as a

result of the proposed development, if any. A statement shall appear on the site grading and drainage plan, which shall be signed by a registered civil engineer or land surveyor and shall read, "I hereby state that all improvements have been substantially constructed as presented on these plans". Reference the City of Winters Public Improvements Standards and Construction Standards for additional requirements.

66. Construction materials for storm drain pipes within the water table shall be pre-cast rubber-gasket reinforced concrete pipe (RGRCP).
67. Applicant shall meet all FEMA requirements and be required to coordinate with FEMA through the City's Floodplain Administrator to determine if a CLOMR or LOMR is needed for the project as a result of possible impacts to Dry Putah Creek Flood Plain. Applicant shall obtain all necessary permits and CLOMRs/LOMRs as required prior to improvement plan approval.
68. All projects shall include implementation of post-construction best management practices (BMPs), in accordance with the provisions of the General Construction Activity Storm Water Permit adopted by SWRCB in 2009 and amended in 2012 (2009-009-DWQ).
69. Post construction BMPs shall be identified on improvement plans and approved by the City Engineer. Construction of projects disturbing more than one acre of soil shall require a National Pollution Discharge Elimination System (NPDES) construction permit, or a WPCP.
70. Pursuant to General Plan Policy IV.D.4, as a condition to any development entitlement approval, all development affected by or contributing to the 100-year flooding problem shall be required to contribute to the financing of the comprehensive flood control solution in an amount that reflects that property's relative contribution to the flooding problem or benefit from the program adopted.
71. Pursuant to General Plan Policy IV.D.6, all development allowed to proceed within the General Plan flood overlay zone, in advance of implementation of storm drainage improvements specified in the updated Storm Drainage Master Plan, must address interim drainage and flooding requirements in a manner found acceptable by the City Engineer, and in a manner that furthers and is not inconsistent with the updated Storm Drainage Master Plan. To the extent feasible as determined by the City, interim improvements shall implement logical component parts of the storm drainage improvements identified in the updated Storm Drainage Master Plan.

Interim drainage/flooding solutions that do not implement logical components parts of the storm drainage improvements identified in the updated Storm Drainage Master Plan, or would be otherwise inconsistent with implementation of the update Storm Drainage Master Plan, can only be approved if consistent with the water quality treatment/design criteria and standards criteria of the updated Storm Drainage Master Plan and the City shall provide no reimbursement or credit for said work.

72. Pursuant to General Plan Policy IV.D.7, all projects citywide and within the flood overlay zone (FOZ) shall pay a Storm Drainage Master Plan Implementation Fee that represents a fair share towards implementation of the improvements specified in the updated Storm Drainage Master Plan. This fee shall be due prior to issuance of the building permit. To

the extent that all or a component part of the Storm Drainage Master Plan is constructed by a project approved to move forward, credit toward the fee will be provided.

Sanitary Sewer

73. The property shall be connected to the City of Winters sewer system in Matsumoto Lane, with a separate sewer lateral required for each parcel, in accordance with City of Winters Public Improvement Standards and Construction Standards. If sewer services for each Parcel are combined; then a reciprocal use agreement between property owners will be required prior to approval of the Final Parcel Map. This agreement applies also to water and storm drainage systems, and vehicular/pedestrian and bike access.
74. A Sewer Collection System Plan shall be submitted for approval by the City Engineer as part of the submittal of the construction drawings for checking. A registered civil engineer for project shall prepare the sewer collection system plan. The plan shall include final sizing and location of conveyance facilities, structures, and engineering calculations. The applicant shall pay the cost associated with all improvements required by the plan. Reference the City of Winters Public Improvements Standards and Construction Standards for additional requirements.
75. At the time the Building Permit is issued, the applicant is required to pay the appropriate connection fees.

Water

76. A Water System Plan shall be submitted for approval by the City Engineer as part of the submittal of the construction drawings for checking. A registered civil engineer for project shall prepare the water system plan. The plan shall include final sizing and location of conveyance facilities, structures, and engineering calculations. The applicant shall pay the costs associated with all improvements required by the plan. Reference the City of Winters Public Improvements Standards and Construction Standards for additional requirements.
77. All materials and installation of the water system shall be at the applicant's expense per City of Winters Public Improvement Standards and Construction Standards.
78. At the time the Building Permit is issued, the applicant will be required to pay the appropriate City connection fees. All domestic water services will be metered. Water meters shall be installed on all water services to the satisfaction of the City Engineer.
79. Per City of Winters Cross Connection Control Program, all types of commercial buildings and landscape irrigation services are required to maintain an approved backflow prevention assembly, at the applicant's expense. Service size and flow-rate for the backflow prevention assembly must be submitted. Location of the backflow prevention assembly shall be per the City of Winters Public Improvements Standards and Construction Standards. Prior to the installation of any backflow prevention assembly between the public water system and the owner's facility, the owner or contractor shall make application and receive approval from the City Engineer or his designated agent.

80. Per the City of Winters Cross Connection Control Program, fire protection systems are required to maintain approved backflow prevention, at the applicant's expense. Required location, service size and flow-rate for the fire protection system must be submitted. Actual location is subject to the review and approval of the Public Works Department, Fire Department, and Community Development Department.
81. Applicant shall develop and implement a Construction Traffic Management Plan to the satisfaction of the City of Winters Department of Public Works. The plan shall be submitted to the City of Winters Public Works Department and Caltrans for review prior to initiation of site disturbance.
82. If build-out of the different facilities on the different Parcels will be phased, then an infrastructure and circulation phasing plan shall be submitted for approval by the City, prior to approval of the Final Parcel Map.

Mapping

83. Applicant shall submit a Parcel Map in accordance with the Subdivision Ordinance, Chapter 16.02. The parcel Map shall be in substantial conformance with the Applicant's Exhibit provided during Design Review.
84. Closure calculations shall be provided at the time of initial map check submittal. All calculated points within the map shall be based upon one common set of coordinates. All information shown on the map shall be directly verifiable by information shown on the closure calculation print out. The point(s) of beginning shall be clearly defined and all lot acreage shall be shown and verifiable from information shown on the closure calculation print out. Additionally, the square footage of each lot shall be shown on the Parcel Map. Reference the City of Winters Public Improvements Standards and Construction Standards for additional requirements.
85. All existing and proposed utilities (electric, phone/data, and cable) within 100 feet of the project boundary shall be installed underground per the subdivision ordinance and shall meet the policies, ordinances, and programs of the City of Winters and the utility providers.
86. A Public Improvement Agreement shall be entered into and recorded prior to recording of the Final Parcel Map, approval for improvement plans for off-site work, and/or issuance of any building permits.
87. Appropriate easements shall be required for City maintained facilities located outside of City owned property or the public right-of-way.
88. The applicant shall facilitate, with City cooperation, the abandonment of all City easements and dedications currently held but no longer necessary as determined by the Public Works Department.
89. A ten (10) foot public utility easement back of sidewalk, adjacent to all public streets within the development shall be dedicated to the City and may be required elsewhere as requested by the utility companies and approved by the City.

90. The various parcels share infrastructure and circulation. Prior to approval of the Final Map the applicant shall execute a reciprocal nonexclusive cross access and utilities easement agreement between all parcels.

FIRE - POLICE

91. SECURITY: Utilize security cameras both inside and outside all facilities including coverage of parking lots. Pool areas excluded at applicant's request due to liability issues.
92. SECURITY: Post signage indicating that the properties are monitored by security cameras. Pool areas excluded at applicant's request due to liability issues.
93. FINAL PLANS, PERIODIC TESTS FOR FIRE HYDRANTS: All final plans for fire hydrant systems and private water mains supplying a fire hydrant system shall be submitted to the City of Winters Fire Department for approval prior to construction of the system. All fire protection systems and appurtenances thereto shall be subject to such periodic tests as required by the City of Winters Fire Department.
94. WATER PRESSURE: All water lines and fire hydrant systems must be approved by the Fire Chief and operating prior to any construction taking place on the site. Prior to issuance of building permits, water flow must be measured and certified for adequacy by the Winters Fire Department.
95. REFLECTORS FOR FIRE HYDRANTS: Any fire hydrant installed will require, in addition to the blue reflector noted in Standard Drawings, an additional blue reflector and glue kit that is to be supplied to the Winters Fire Department for replacement purposes.
96. All construction, new or remodeling, shall conform to the most current Uniform Fire Codes, the Winters Fire Prevention Code, and section of the National Fire Codes that the Winters Fire Chief or his/her agent may find necessary to apply.
97. Forty-eight hours notice shall be given to the Winters Fire Department prior to any site inspections.
98. A hydrant use permit shall be obtained from the Public Works Department, for water used in the course of construction.
99. A new hydrant shall be placed along the frontage of development. Actual location is subject to the review and approval of the Public Works Department and Fire Department.
100. The Applicant shall contact the Winters Fire Department Chief or his/or agent prior to construction for a pre-construction meeting.
101. All required fire accesses that are to be locked shall be locked with a system that is approved by the Fire Chief or his/her agent.
102. Before framing of the building begins if necessary a compacted gravel drive access will be put in place to allow fire equipment to access the site in the case of an emergency.

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City of Winters will conduct a Public Hearing by the Planning Commission on Tuesday, June 28, 2016 at 6:30 p.m. at the City Council Chambers located on the first floor of City Hall at 318 First Street, Winters, California to consider an application from Project applicant, Ashraf & Yasmin A. Ali & Samir Ali, for Tentative Parcel Map, Site Plan/Design Review, Conditional Use Permit, and Rezone (Planned Development Overlay) to demolish the existing convenience store market and construct a new 2,597 square foot Chevron convenience store market and car wash, a 2,200 square foot Starbucks coffee shop with drive through lane, and 72 unit 13,617 square foot Fairfield Inn & Suites Hotel. The Tentative Parcel Map will divide 2 existing parcels totaling 6.761 acres into 4 Parcels A, B, C and D. Design elements include cohesive exterior building material selection, dense landscaping, and improvements to Grant Avenue and Matsumoto Lane. The Conditional Use Permit would permit Chevron to expand their alcohol sales and to allow a hotel in a Highway Service Commercial C-H Zone. The Rezone (Planned Development Overlay) permits the height of hotel to be increased from 30 to 46'6" feet. The Planning Commission will take final action on Tentative Parcel Map, Site Plan/Design Review, and Conditional Use Permit unless appealed to the City Council. The Planning Commission will make a recommendation to the City Council regarding the Rezone (Planned Development Overlay).

The purpose of the public hearing will be to provide citizens an opportunity to make their comments on the project known. If you are unable to attend the public hearing, you may direct written comments to the City of Winters, Community Development Department, 318 First Street, Winters, CA 95694 or to jenna.moser@cityofwinters.org. In addition, the staff report will be available on the City's website on 06/23/16.

In compliance with the Americans with Disabilities Act, if you are a disabled person and you need a disability-related modification or accommodation to participate in these hearings, please contact City Clerk Nanci Mills at (530) 795-4910, ext. 101. Please make your request as early as possible and at least one-full business day before the start of the hearing.

The City does not transcribe its hearings. If you wish to obtain a verbatim record of the proceedings, you must arrange for attendance by a court reporter or for some other means of recordation. Such arrangements will be at your sole expense.

If you wish to challenge the action taken on this matter in court, the challenge may be limited to raising only those issues raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission prior to the public hearing.

Availability of Documents: Copies of the Staff Report will be available on the City's website www.cityofwinters.org

For more information regarding this project, please contact Jenna Moser, Management Analyst – Planning & GIS, at (530) 794-6713.



